

July 13, 2020

ADDENDUM NUMBER TWO (2)

Project: New Justice Court Facility
Marshall County Justice Complex
Holly Springs, MS
PN: 20005

FROM: Dean and Dean/Associates Architects, P.A.
4400 Old Canton Road, Suite 200
Jackson, MS 39211
(601) 939-7717

The following additions, changes, clarifications and/or substitutions to the Project Drawings as indicated, are hereby made a part of the Contract Documents. Acknowledge receipt of this Addendum by inserting its number and date in the Proposal Form where indicated.

Clarifications

- Item #1:** Cast Underlayment specified in Section 035400 is required to level floor slab and fill imperfections in concrete slab prior to placement of Vinyl Tile or Luxury Vinyl Tile flooring. The Quality of the concrete slab provided by the GC will determine the final scope of work needed per this section.
- Item #2:** Section 054000 Cold Formed Metal Framing is required for the design of the exterior wall stud framing locations. This is a design-build wall framing system that shall be provided by the stud manufacturer. All accessories and additional steel framing members required shall be provided by the G.C. at no additional cost to the Owner. The Wall legend on sheet A001 is for interior stud walls only.

Architectural Specifications:

- Item #1:** Section 055000 Metal Fabrications, add the following sentences to the end of paragraph 2.04.A.5.a;
- Downspout Boot equal to model A-4624C (for 4" x 6" downspout) with 5 7/8" round angled discharge – connected to 6" PVC piping with "T" connector to the 10" PVC drainage piping shown on sheet C.3. G.C. to coordinate and modify cast iron boot selection to match downspout size provided by PEMB manufacturer.
- Item #2:** Section 093000 – Tiling. Remove Paragraph 2.04C in its entirety. Epoxy Adhesive is not required on this project.
- Item #3:** Section 095100 – Acoustical Ceiling, change paragraph 2.01 to read as follows:
- 2.01 Acoustical Units
A. Manufacturers:
1. Rockfon – 4849 S. Austin Avenue, Chicago, IL, www.rockfon.com; Product: Alaska
2. Substitutions: See section 016000 – Product Requirements

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- B. Acoustical Panels – Type 1 and 2 Painted Scrim Faced Stone Wool (Mineral Wool) Rockfon – Alaska with the following characteristics:
1. Size: 24 x 24 inches
 2. Thickness: 3/4 inches
 3. Light Reflectance: 0.86 percent
 4. NRC: 0.90 determined in accordance with ASTM E1264
 5. Edge: Square Tegular
 6. Surface Color: White
 7. Suspension System: Exposed grid Type 1, coordinate with manufacturer

Drawings

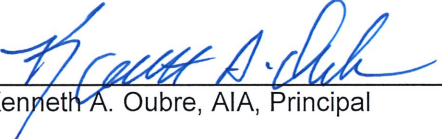
Item #1: Sheet A902 Finish Legend, change LAT-1 and LAT-2 to be equal to Rockfon 3/4" – Alaska Series Tile.

Civil

SEE ATTACHED CIVIL ITEMS PROVIDED BY ELLIOTT & BRITT ENGINEERING

END OF ADDENDUM NUMBER TWO (2)

Dean and Dean/Associates
architects p.a.


Kenneth A. Oubre, AIA, Principal



PLEASE ATTACH THIS ADDENDUM TO THE INSIDE FRONT COVER OF EACH SET OF SPECIFICATIONS.

T.W. ELLIOTT, PE/PS (1963-2011)
L.L. BRITT, PE/PS
KEVIN W. McLEOD, PE

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**JUSTICE COURT FACILITY ADDITION TO
MARSHALL COUNTY JUSTICE COMPLEX
HOLLY SPRINGS, MISSISSIPPI**

ADDENDUM NO.2

July 13, 2020

1. CHANGES TO CONSTRUCTION DRAWINGS

SHEET C.3 "GRADING AND DRAINAGE"

Clarification:

Note was added to clarify connection of 6" roof drain downspouts to 10" drain pipe. Drain pipe may be PVC, HDPE or HP. Remove Sheet C.3 and Replace with the attached revised Sheet C.3.

SHEET C.4 "WATER LAYOUT"

Clarification:

The Check Valve on the fire protection line was replaced by a Double Check Back-Flow Preventer, covered in Section 2.9.7 of Water Technical Specifications. Remove Sheet C.4 and Replace with the attached revised Sheet C.4.

SHEET C.6 "CONSTRUCTION DETAILS":

Clarification:

A detail for a Double Check Back-Flow Preventer was added to Sheet C.6 for clarification to contractor. Remove Sheet C.6 and Replace with the attached revised Sheet C.6.

This addendum shall be attached to and become part of the Contract Documents referred to herein.

DATE: July 13, 2020



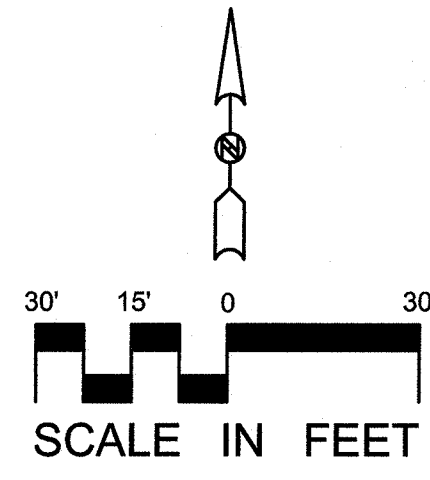
Larry L. Britt, PE/PS
Consulting Engineer

RECEIVED:

This Addendum should be signed and dated by Bidder and submitted as proof of receipt with the submission of bids. The Bidder, by identifying the addendum number in the bid proposal and by the signing and submission of their bid, shall serve as proof of receipt of this addendum. Failure to comply may result in disqualification.

DATE: _____

Signature

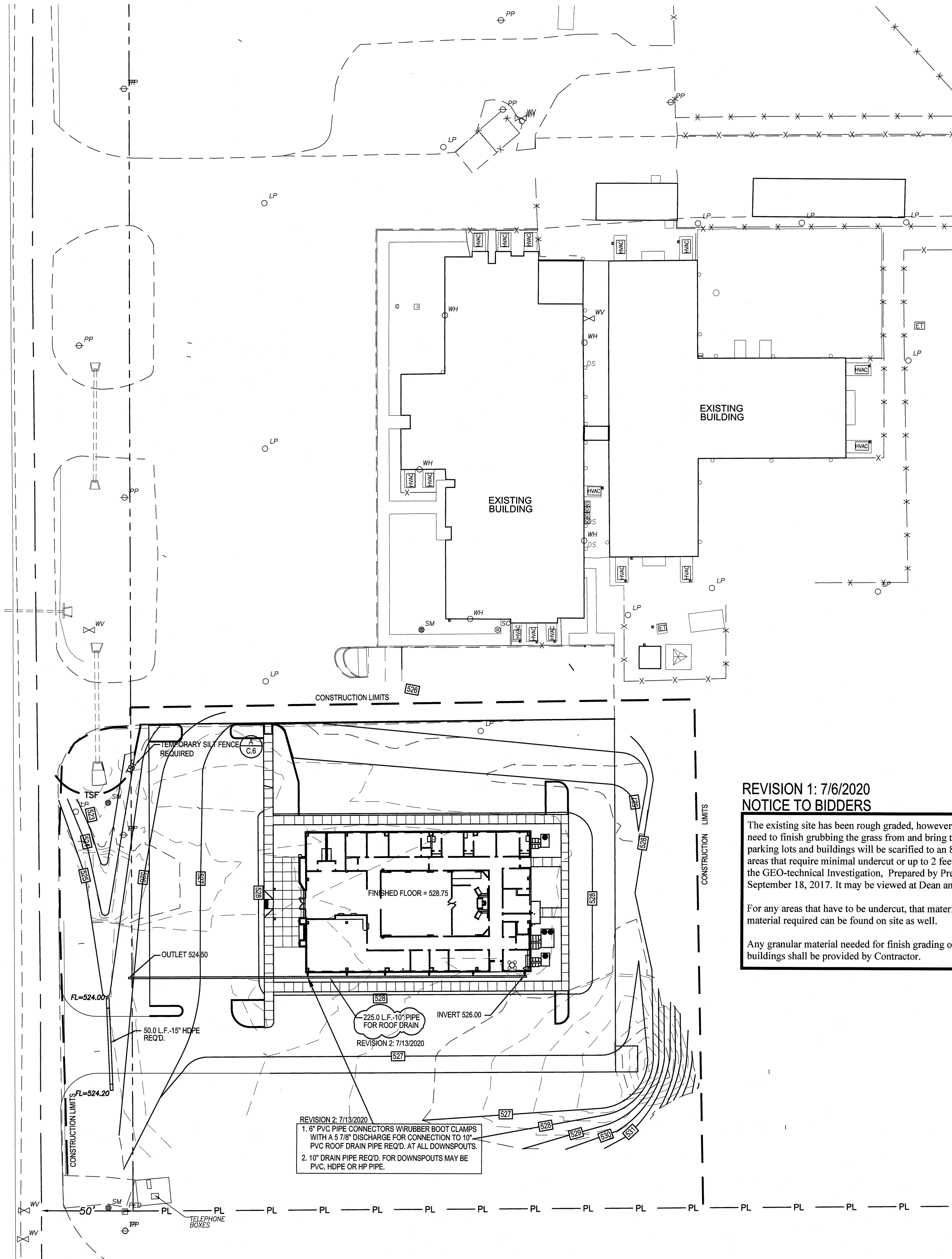


NOTES

- 1 TEMPORARY SILT FENCE SHALL BE PLACED AS SHOWN OR AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO OWNER. LINES WITH 'TSF' DENOTE TEMPORARY SILT FENCE.
- 2 ALL EROSION AND/OR SEDIMENT CONTROLS SHALL BE INSTALLED PROPERLY AND IN PLACE PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- 3 **SITE INFORMATION**
THE CONSTRUCTION OF THE PROPOSED PROJECT WILL DISTURB APPROXIMATELY 4.0 ACRES, AND THEREFORE WILL FALL UNDER M.D.E.Q.'S SMALL CONSTRUCTION GENERAL PERMIT.
- 4 **HOUSE KEEPING PRACTICES:** THE CONTRACTOR AND ALL SUB-CONTRACTORS PERFORMING CONSTRUCTION ACTIVITIES ON THIS SITE SHALL SUBMIT TO THE ENGINEER A COPY OF THIS SWPPP SHEET WITH MARKED AREAS INDICATING INTENDED LOCATION FOR HOUSE KEEPING PRACTICES FOR APPROVAL BEFORE A "NOTICE TO PROCEED" WILL BE ISSUED. THE CONTRACTOR AND ALL SUB-CONTRACTORS ALSO SHALL PERFORM THE FOLLOWING:
 - DESIGNATE AREAS ON SITE FOR EQUIPMENT MAINTENANCE AND REPAIR.
 - PROVIDE WASTE RECEPTACLES AT CONVENIENT LOCATIONS AND PROVIDE REGULAR COLLECTION OF WASTE.
 - PROVIDE PROTECTED STORAGE AREAS, AS NEEDED, FOR CHEMICALS, PAINT, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS.
 - PROVIDE ADEQUATELY MAINTAINED SANITARY FACILITIES.
 - PROVIDE WATER TRUCK TO CONTROL DUST
 - PROVIDE PROPER CONCRETE TRUCK WASH-OUT AREA.
- 5 **MANAGEMENT OF EROSION CONTROL MEASURES:** THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROLS DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCE AND STRAW WATTLIES AT THE LOCATIONS SHOWN TO THE RIGHT, AND AT LOCATIONS AS DESIGNATED BY THE ENGINEER. THIS SHALL BE DONE IN ORDER TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES, AS NEEDED, AS DIRECTED BY THE ENGINEER.
- 6 **IMPLEMENTATION SEQUENCE**
 - BUILD CONSTRUCTION ENTRANCE EXIT
 - INSTALL SILT FENCE AT CONSTRUCTION LIMITS OR AS DIRECTED BY ENGINEER
 - CLEAR SITE
 - SEED/SOD DISTURBED AREAS AND MAINTAIN UNTIL GRASS GROWTH
- 7 **VEGETATIVE:** EXISTING TREES, SHRUBS, OR LANDSCAPING SHALL BE PRESERVED WHERE POSSIBLE. ALL DISTURBED AREAS SHALL BE STABILIZED (FERTILIZER, SEED, MULCHED, LINED WITH EXCELGELIOR BLANKET AND/OR SOODED) AS SOON AS POSSIBLE AFTER DISTURBANCE TO EFFECTIVELY CONTROL SOIL EROSION. ALL SEEDED OR SOODED AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE PROJECT. ANY "WASH" AREAS THAT APPEAR AFTER SEEDING SHALL BE FILLED WITH TOPSOIL AND RE-SEED AS NECESSARY. THE CONTRACTOR SHALL ENSURE THAT ANY DISTURBED AREAS THAT ARE NOT PERMANENTLY STABILIZED, AND NOT SCHEDULED FOR ANY ACTIVITY TO TAKE PLACE FOR 14 DAYS OR MORE, ARE TO BE RESEED IMMEDIATELY.
- 8 **STRUCTURAL CONTROLS:** TEMPORARY SILT FENCE, COMPLETE WITH WIRE BACKING, SHALL BE USED ALONG THE BOTTOM AND TOPS OF SLOPES TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES TO LEAVE THE PROJECT SITE.
- 9 **CONTRACTOR'S MAINTENANCE REQUIREMENTS:**
THE CONTRACTOR SHALL REMOVE SEDIMENT FROM SILT FENCE WHEN THE ACCUMULATED SEDIMENT HAS REACHED 1/3 OF THE SILT FENCE HEIGHT. THE CONTRACTOR SHALL REMOVE AND REPLACE ALL NON-FUNCTIONAL SILT FENCE.

THE CONTRACTOR SHALL NOT DISTURB MORE THAN TWENTY (20) ACRES AT ONE TIME. ONCE TWENTY ACRES HAVE BEEN DISTURBED, PORTIONS OF THAT TWENTY ACRES SHALL BE PERMANENTLY STABILIZED BEFORE DISTURBING ANY FURTHER ACREAGE.
- 10 **RATES OF APPLICATION:**

COMMERCIAL FERTILIZER (13-13-13)	2 TONS/ACRE
VEGETATIVE MATERIALS FOR MULCH	3 TONS/ACRE



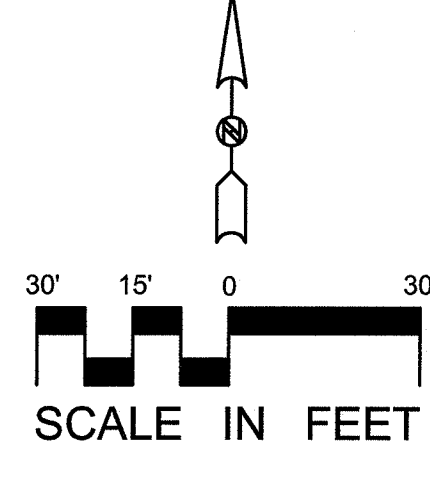
**REVISION 1: 7/6/2020
NOTICE TO BIDDERS**

The existing site has been rough graded, however there are isolated areas that the Contractor may need to finish grubbing the grass from and bring to finish grade. All areas under the proposed parking lots and buildings will be scarified to an 8 inch depth and re-compacted. There may be areas that require minimal undercut or up to 2 feet as outlined on page 3, "Site Preparation" of the GEO-technical Investigation, Prepared by Precision Engineering Corporation, Dated September 18, 2017. It may be viewed at Dean and Dean/Associates.

For any areas that have to be undercut, that material can be disposed of on site. Any borrow material required can be found on site as well.

Any granular material needed for finish grading or to meet minimal depths under parking and buildings shall be provided by Contractor.

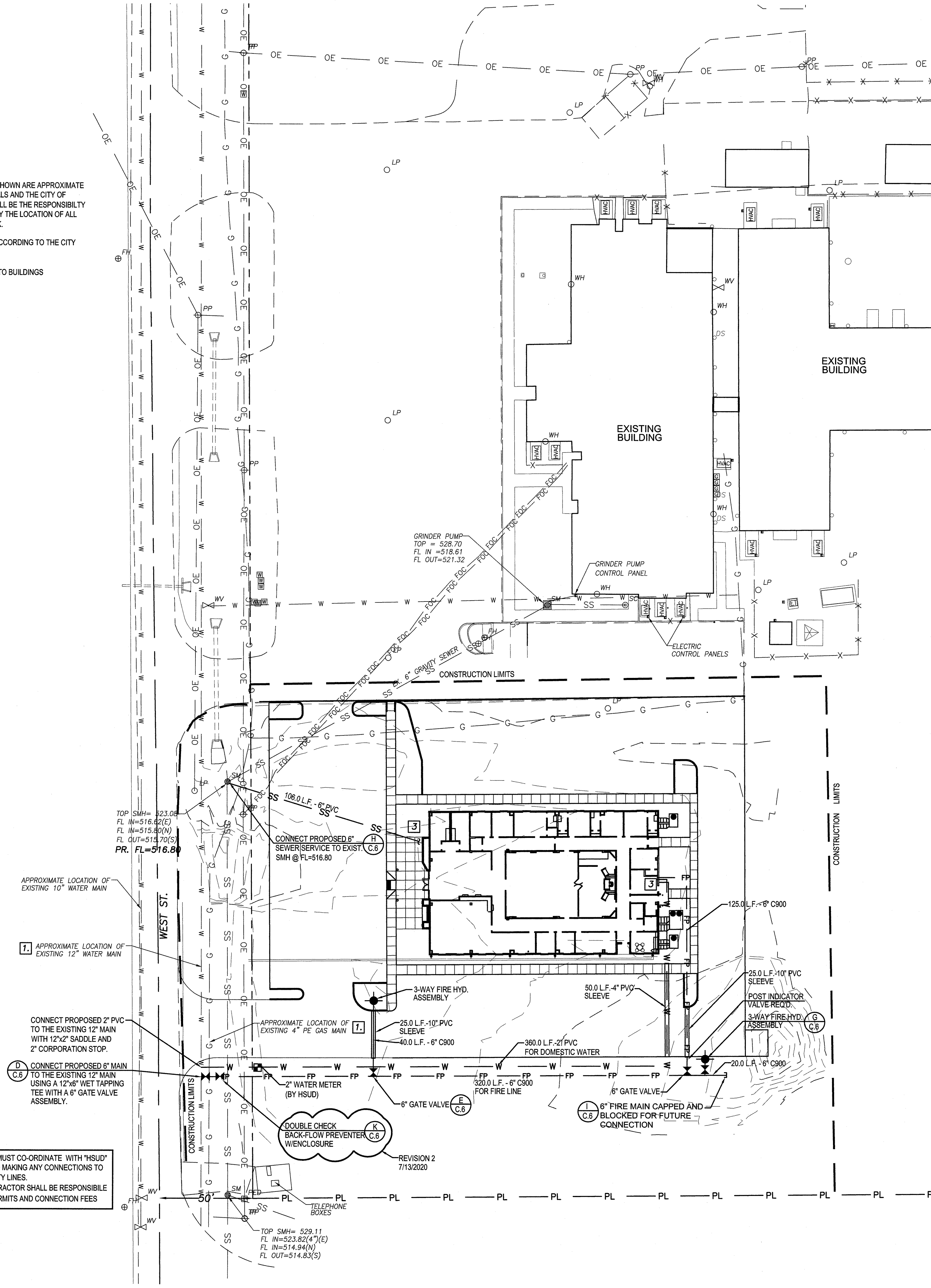
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(662) 234-1763
WWW.ELLIOTTBRITT.COM



NOTES

- 1 LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE APPROXIMATE AS MARKED BY MS11 ONE CALLS AND THE CITY OF HOLLY SPRINGS UTILITY DEPARTMENT. IT SHALL BE THE RESPONSIBILITY OF THE SUCCESSFUL CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK.
- 2 CONTRACTOR SHALL INSTALL ALL UTILITIES ACCORDING TO THE CITY OF HOLLY SPRINGS SPECIFICATION.
- 3 SEE MECHANICAL PLANS FOR CONNECTIONS TO BUILDINGS

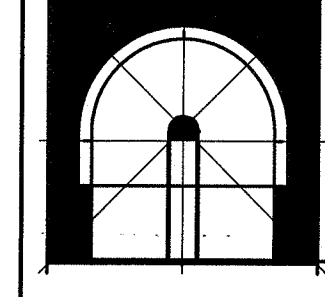
THE CONTRACTOR MUST CO-ORDINATE WITH "HSUD" 48 HOURS PRIOR TO MAKING ANY CONNECTIONS TO THE EXISTING UTILITY LINES. SUCCESSFUL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY PERMITS AND CONNECTION FEES



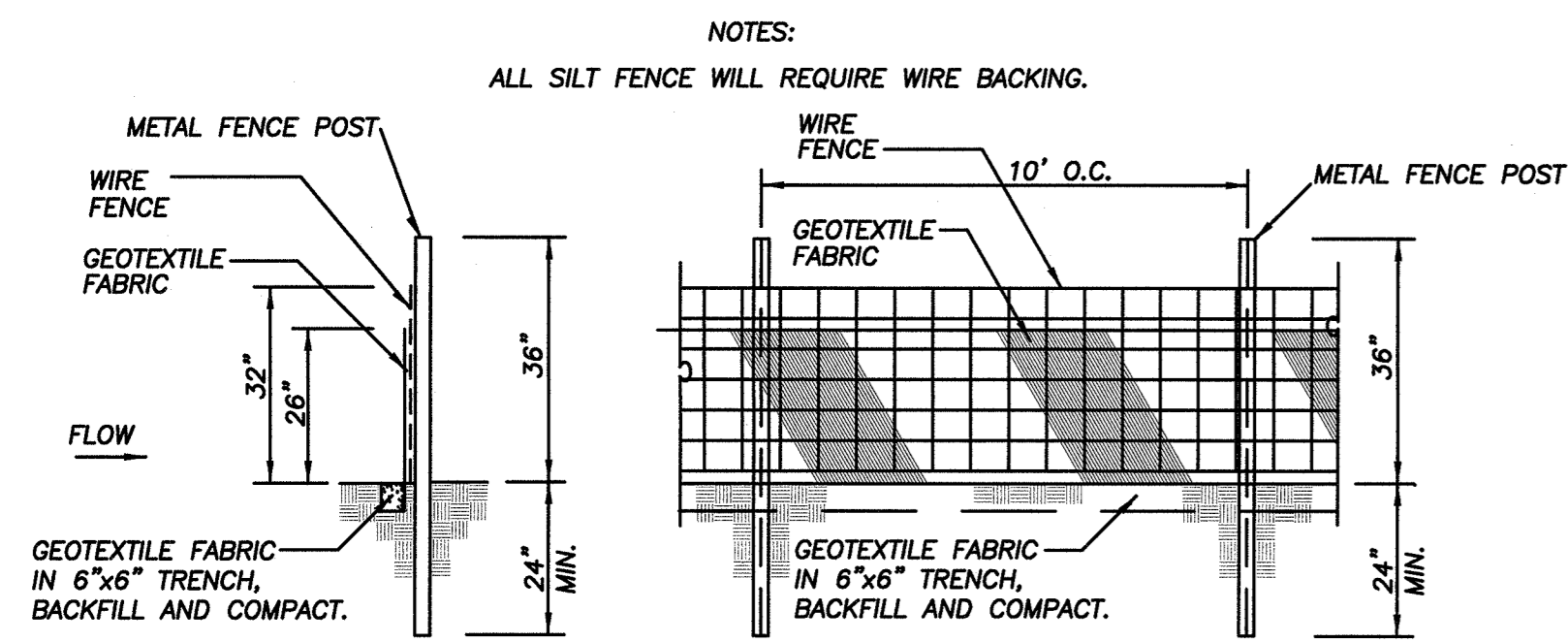
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Sheet Number : **C.4**
 A NEW JUSTICE COURT FACILITY FOR MARSHALL COUNTY JUSTICE COMPLEX
 HOLLY SPRINGS, MISSISSIPPI

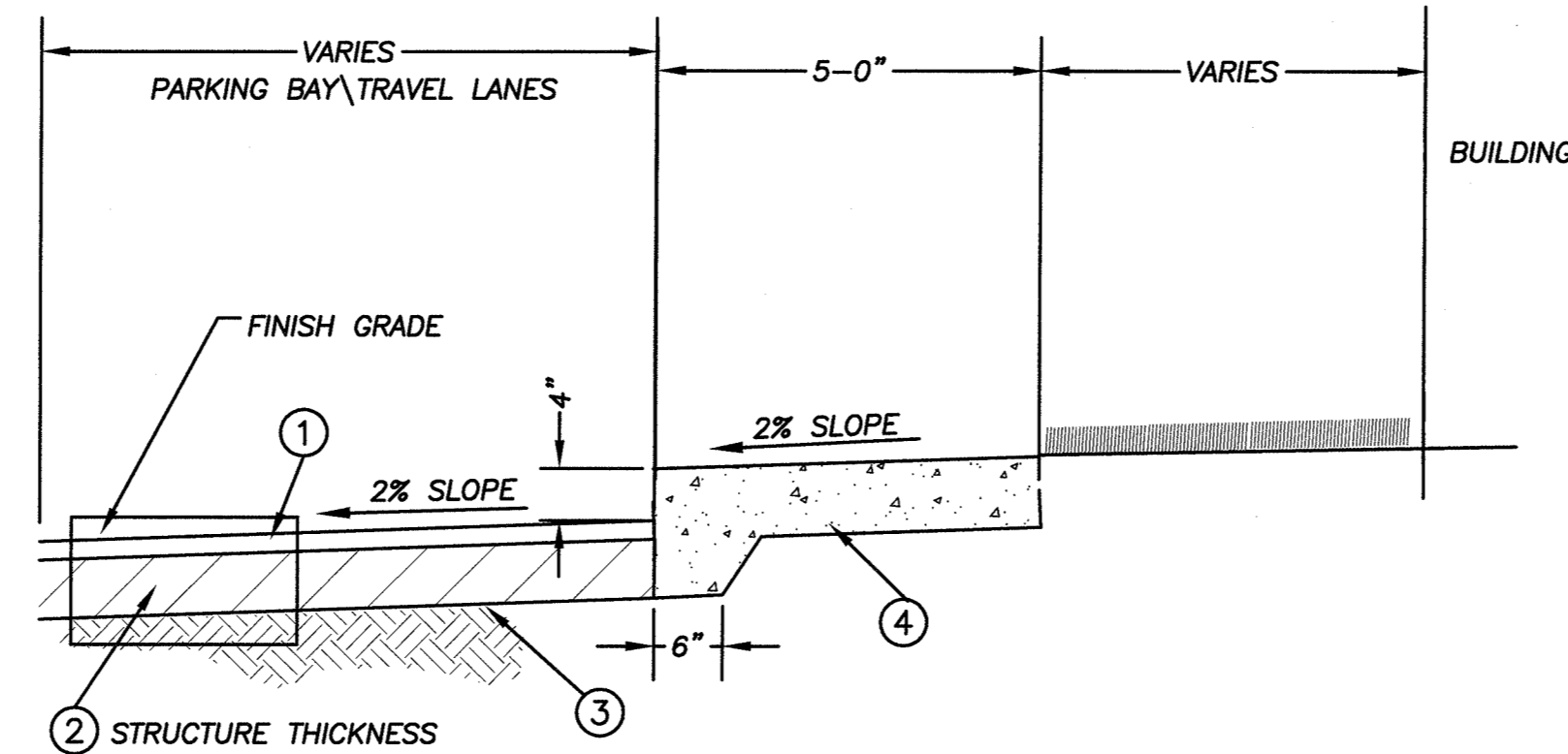
Project No: 20005 Revisions: Addendum 2: July 13, 2020
 Date: JUNE 11, 2020
 Drawn: ALC
 Checked: LLB



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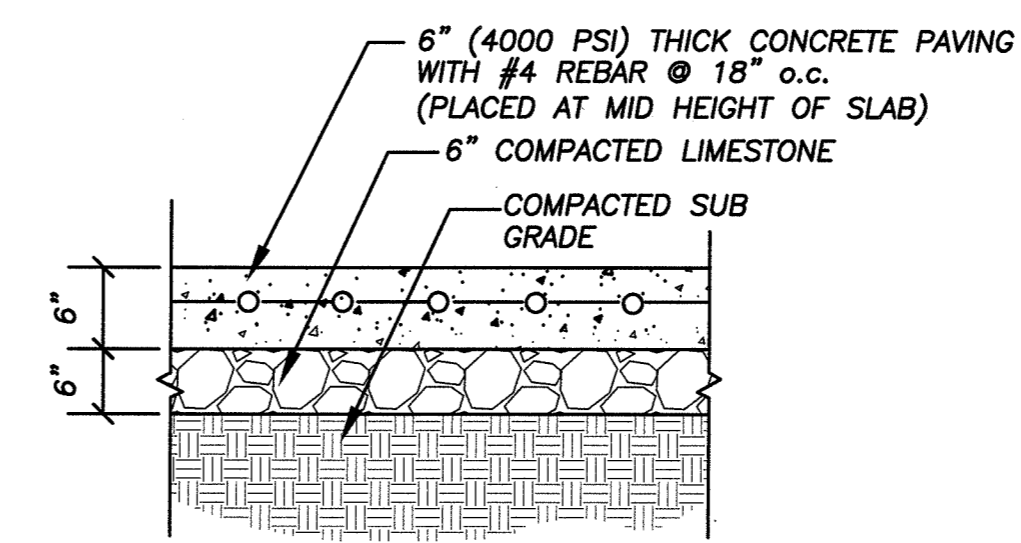


TEMPORARY SILT FENCE DETAIL
NO SCALE (A)

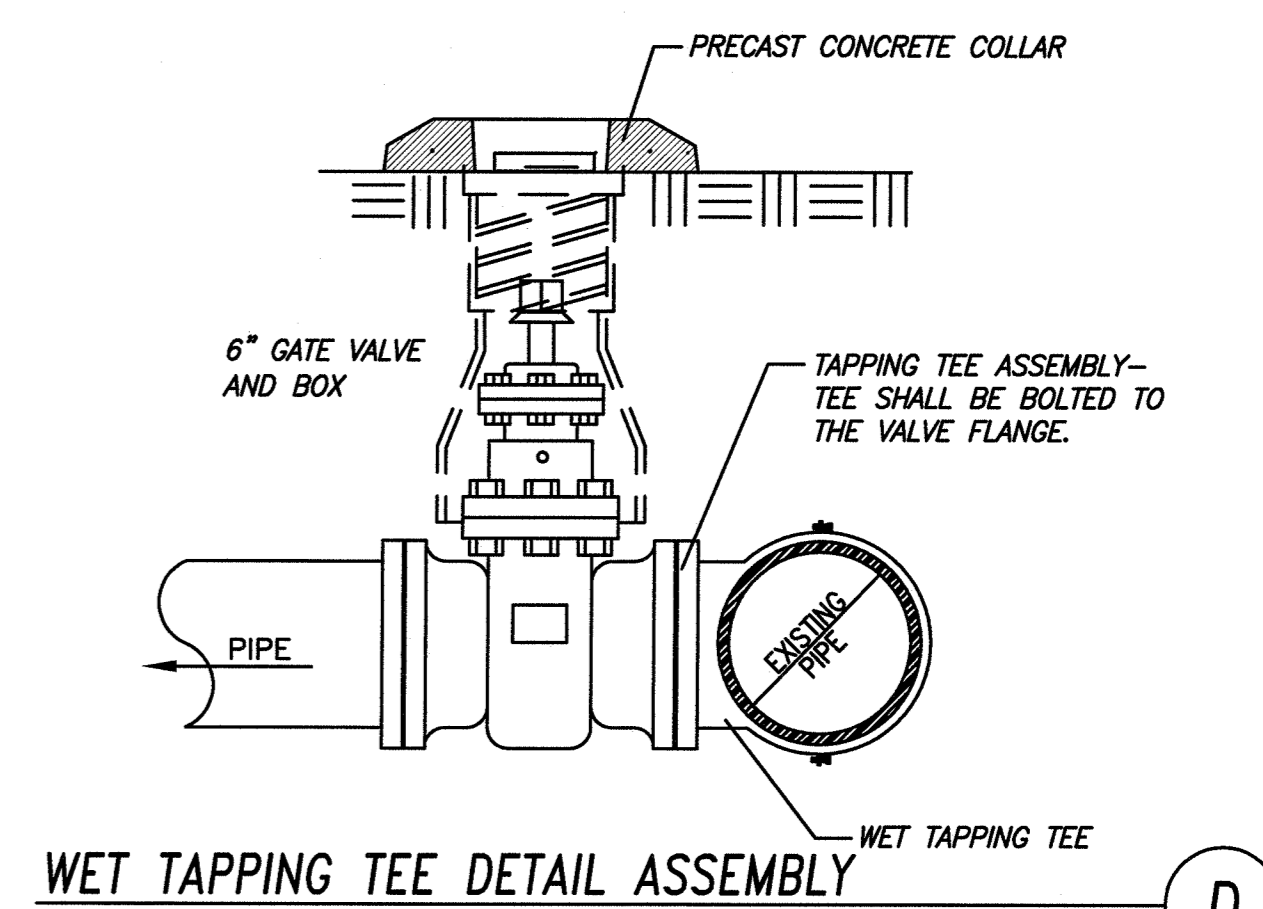


- ① HOT MIX ASPHALT REQ'D. 2.5" - HOT MIX ASPHALT (ST) (12.5 mm)
- ② GRANULAR MATERIAL (6" CRUSHED LIMESTONE)(610) BASE REQ'D.
- ③ COMPACTED SUBGRADE
- ④ 5" CONCRETE SIDEWALK (4" THICKNESS)

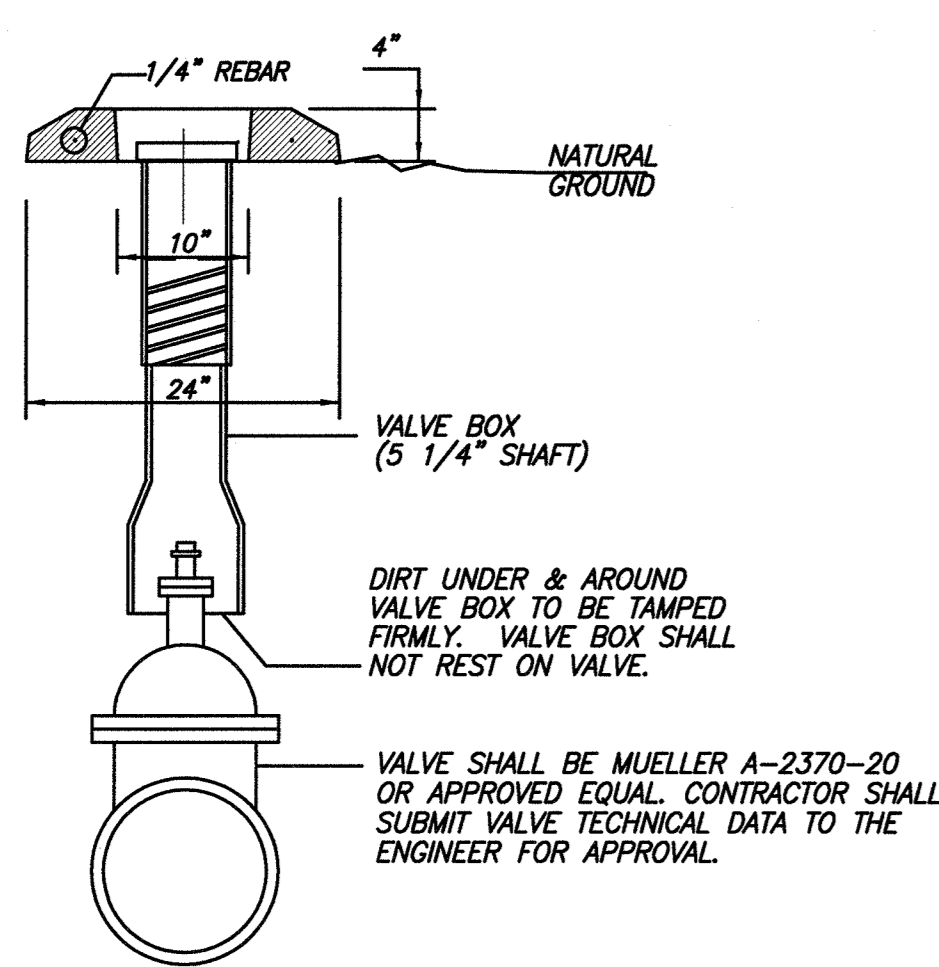
TYPICAL BASE AND PAVE SECTION FOR: PARKING BAYS AND TRAVEL LANES
NOT TO SCALE (B)



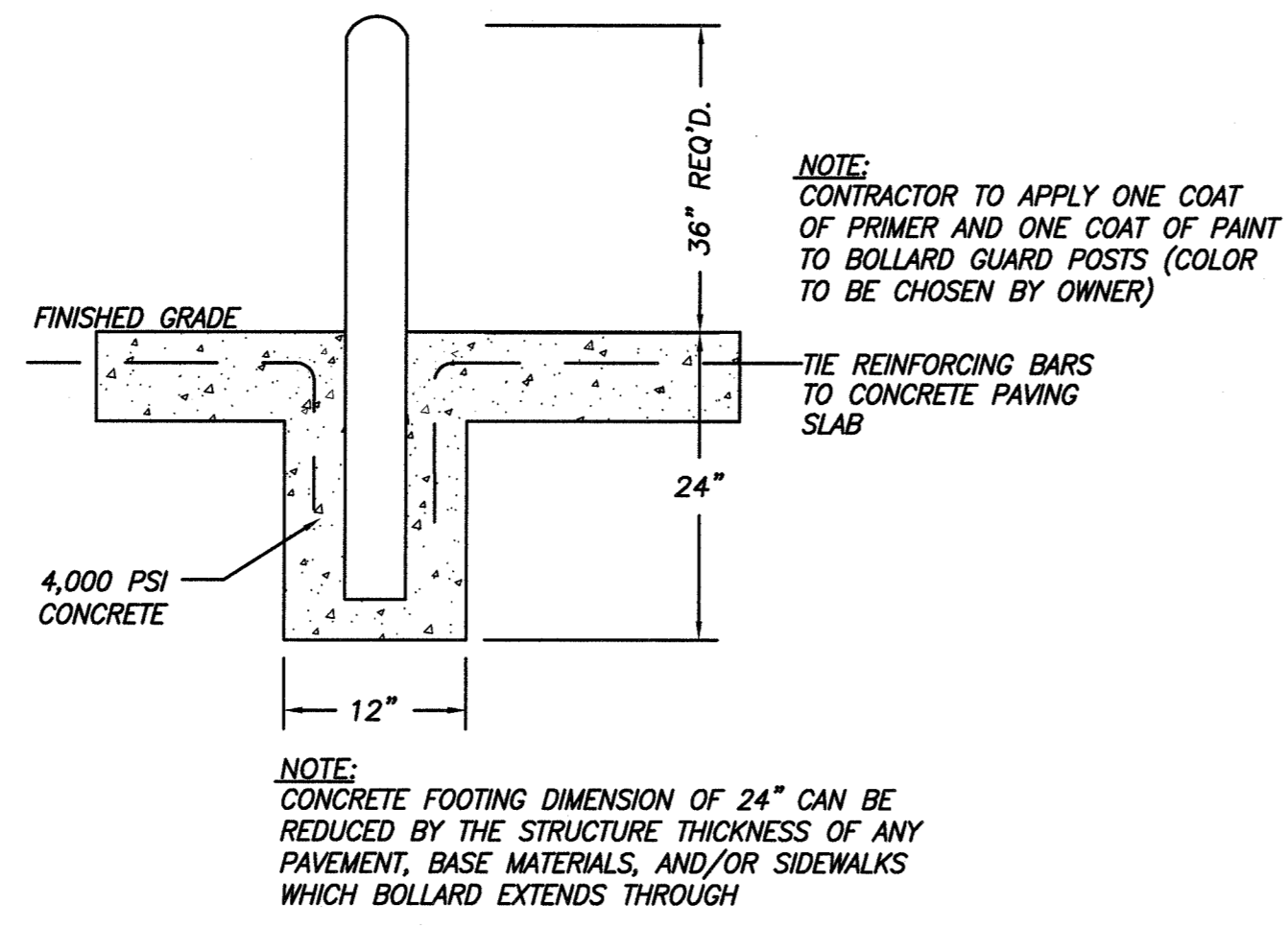
REINFORCED CONCRETE STRUCTURE THICKNESS GARBAGE DUMPSTER
NOT TO SCALE (C)



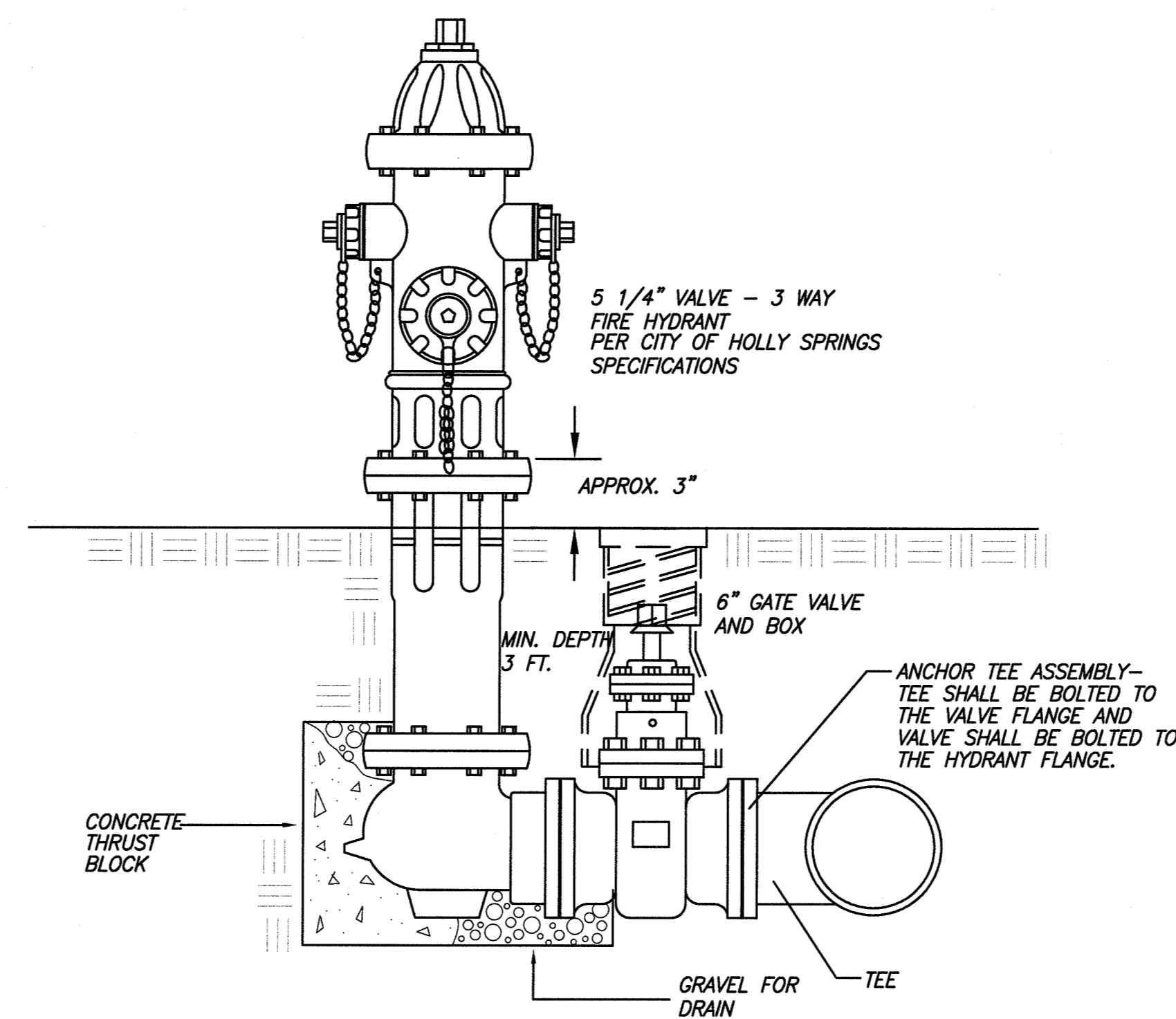
WET TAPPING TEE DETAIL ASSEMBLY
NOT TO SCALE (D)



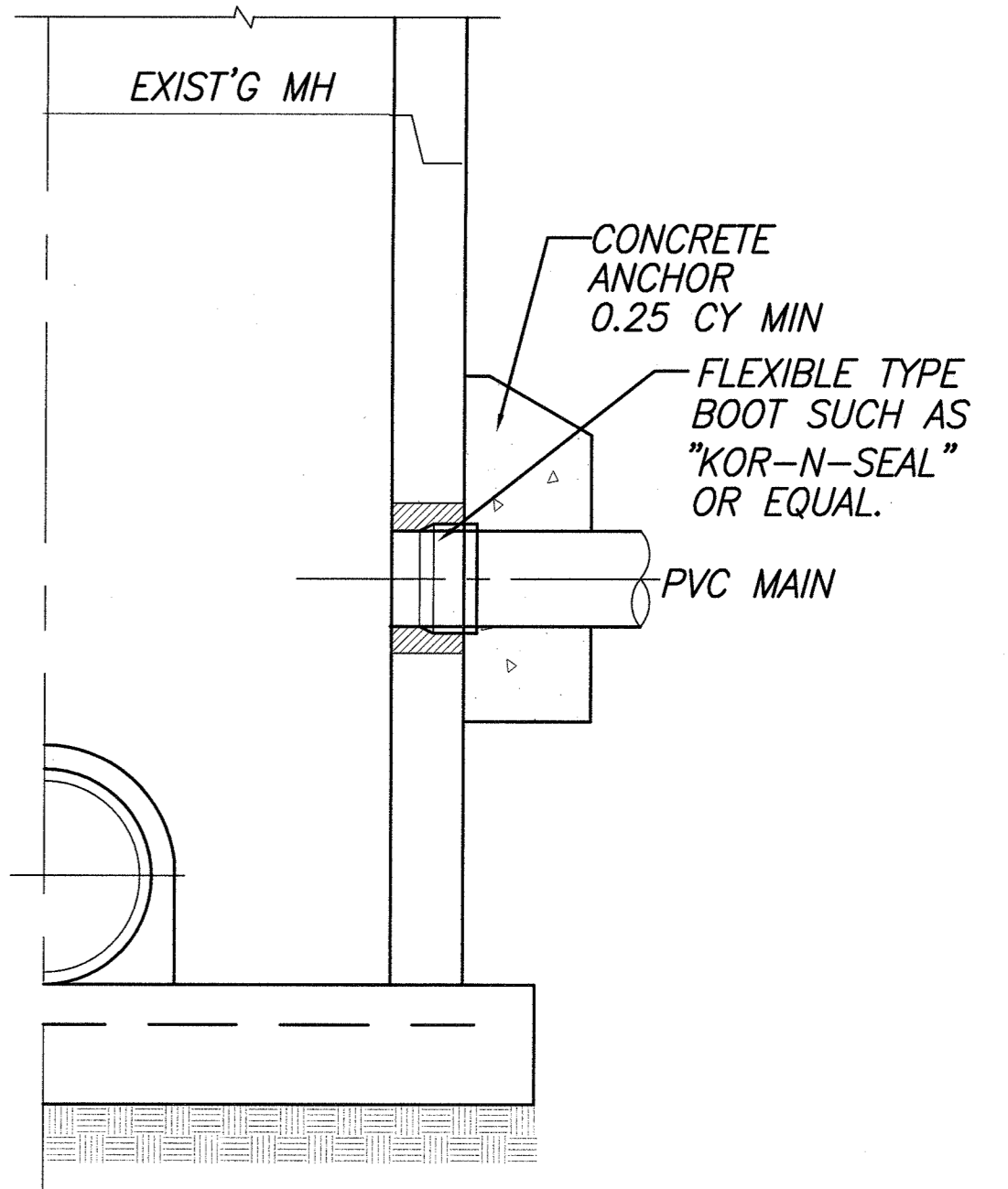
GATE VALVE AND BOX ASSEMBLY
NO SCALE (E)



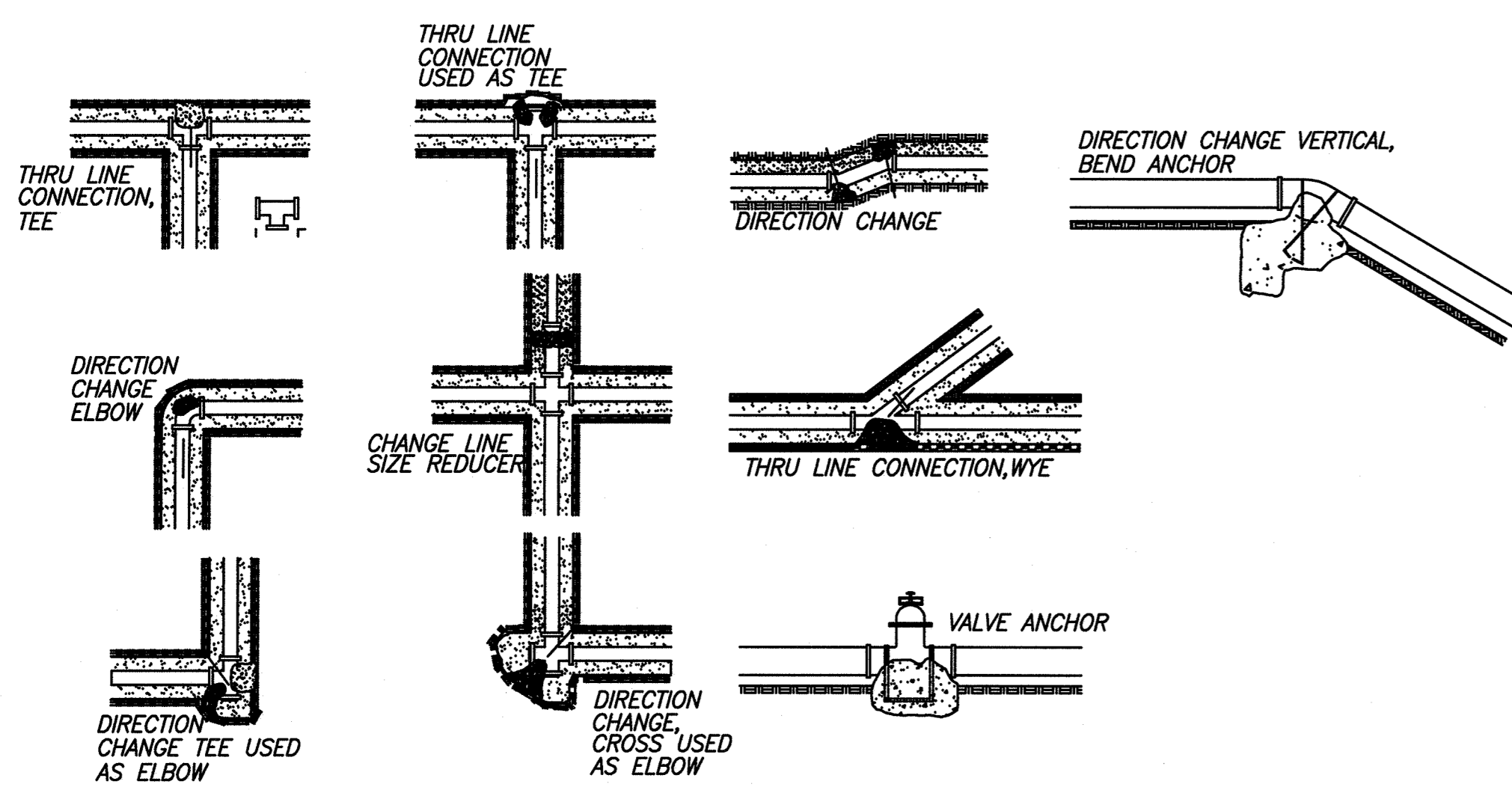
TYPICAL BOLLARD GUARD POST DETAIL
NO SCALE (F)



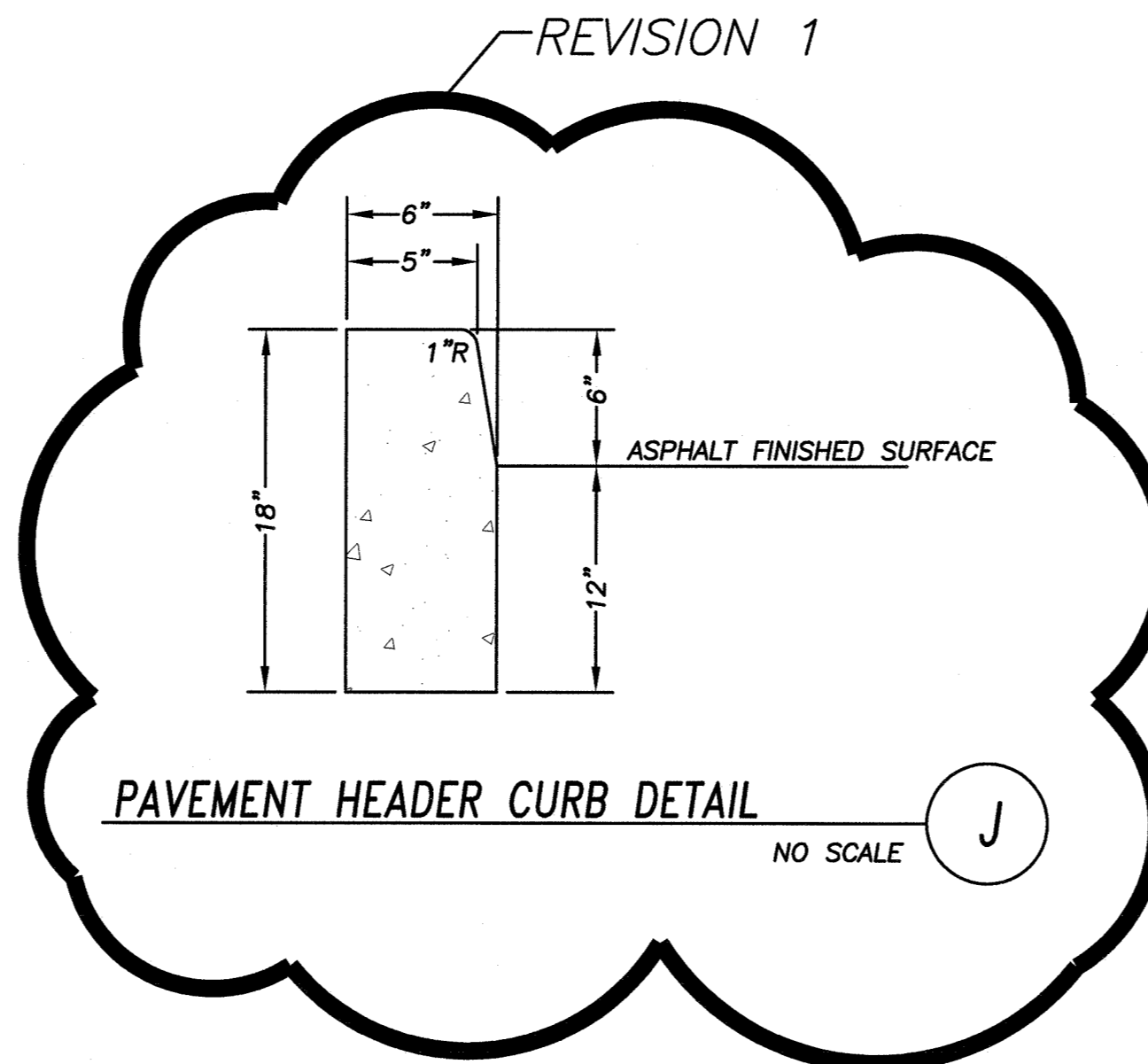
FIRE HYDRANT ASSEMBLY DETAIL (PER CITY OF HOLLY SPRINGS SPECIFICATIONS)
NO SCALE (G)



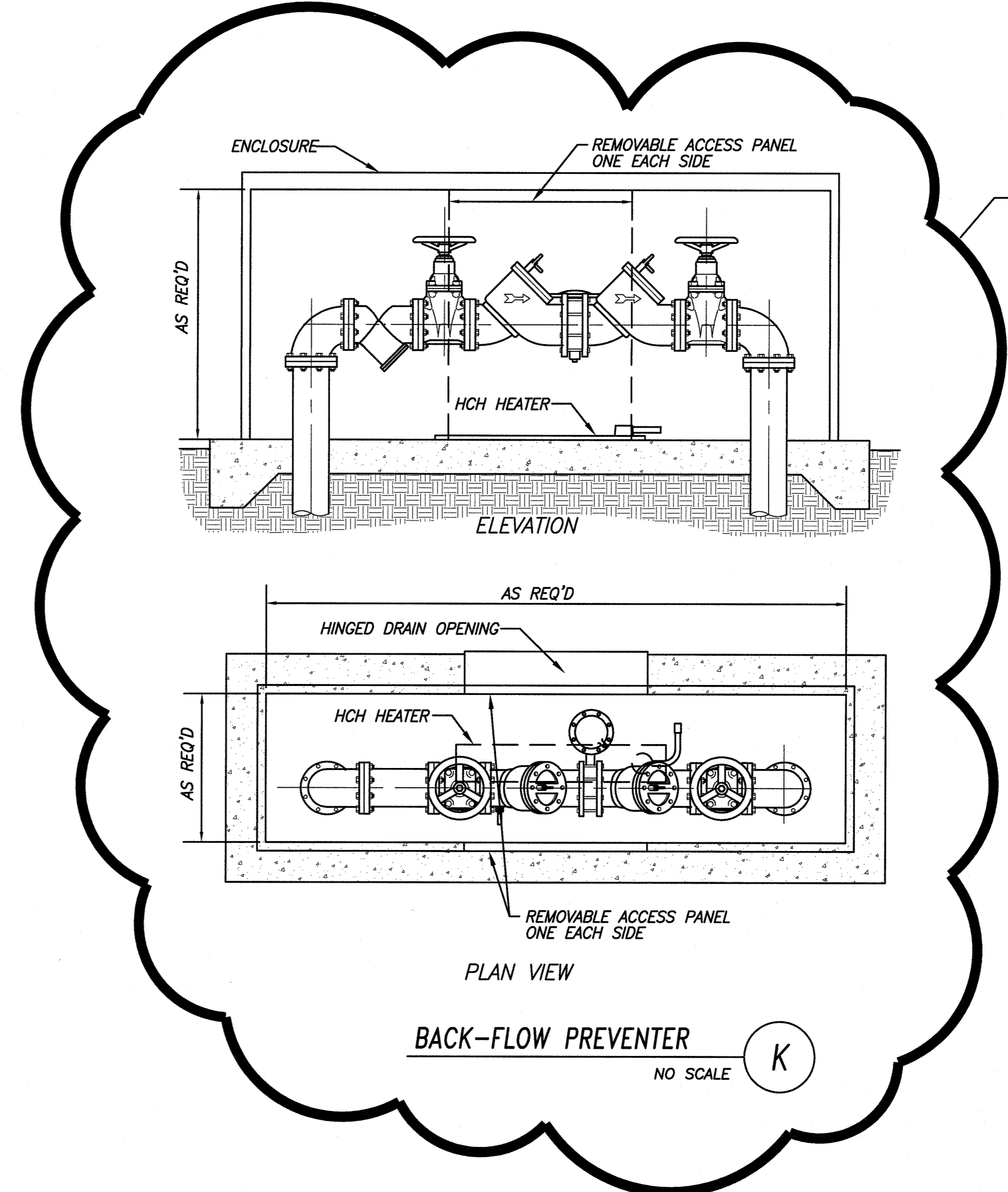
MANHOLE CORE DETAIL
NOT TO SCALE (H)



THRUST BLOCK DETAIL
NO SCALE (I)



PAVEMENT HEADER CURB DETAIL
NO SCALE (J)



BACK-FLOW PREVENTER
NO SCALE (K)

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