

BURRIS/WAGNON ARCHITECTS, P.A.

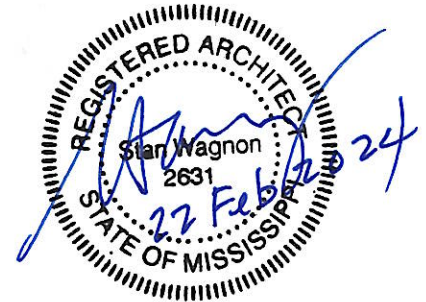
500L EAST WOODROW WILSON AVENUE JACKSON MS 39216 PH 6019697543

22 Feb 2024

ADDENDUM NO. 2

Re: **GS# 101-328**
Dormitory Renovations (Re-Bid)
Alcorn State University
Lorman, Mississippi

Bid Date: Thursday, February 29, 2024 (2:00 P.M.)



NOTICE TO ALL DOCUMENT HOLDERS:

The following additions, changes, and clarifications to the Specifications for the subject project are to be included as part of the Contract Documents, and thus amend the Scope of Work:

GENERAL :

Item No. 1: (Bid location is being moved from first floor to 14th floor of Woolfolk Building)

Sealed bids will be received electronically via MAGIC or physically delivered to the office of the Bureau of Building, Grounds and Real Property Management, 501 North West Street (Woolfolk Building), Suite 1401B (**14th Floor**), Jackson, MS 39201, until 2:00:00 p.m. (14:00:00 Military Time) on Thursday, 2/29/2024, for:

RE: GS# 101-328 Dormitory Renovations (Re-Bid)
Alcorn State University

RFx # 3160006400

Item No. 2: A Pre-Bid Conference was held on Thursday, February 15, 2024, at (see attached register of attendance). A summary of items discussed are as follow:

- A. The Architect discussed bid date and time, location, parking around Woolfolk Building, and noted that bid acceptance would be based on the Bureau's official time clock at the location of bid on the fourteenth floor. Parts of Section 00 2100 Instructions to Bidders were read, and Architect noted that Contractors shall thoroughly review the entire Section 00 2100, including Bidder's Checklist and all other bidding requirements at Section 00 2100 Instructions to Bidders. A summary handout of parts of 00 2100, along with a memorandum regarding electronic bidding, sometimes provided by Owner at pre-bids, is attached hereto for reference (Exhibit "A").
- B. It was discussed that all questions shall be sent directly to the Professional. It was noted that all Addenda shall be a part of the Contract, and last addendum must be released by 5:00 PM, CST, Monday, February 26, 2024: please send all questions for clarification to Professional before this date/time (stan@burriswagnon.com), preferably by morning of February 26, 2024.
- C. Architect discussed contract time and the Proposal Form. Contractor's company name on proposal form is to exactly match that listed with Secretary of State's office and the State Board of Contractors. Certificate of Responsibility number must be listed with the State of Mississippi.

All addenda must be acknowledged on the Bid Form. See other detailed bidding requirements at Section 00 2100.

- D. The Architect noted that, although the Documents refer throughout to a “separate mechanical project” that would run concurrently with the Dorm Renovations project, it is unknown at this time, and will probably be unknown by the bid date, whether or not that “separate” project will in fact be running concurrently with THIS project. Therefore, there shall be provisions made, by addendum, pertaining to how This Contractor may, or not, be required to interface with a Separate Contractor. See addendum items hereinbelow.
- E. The Architect reviewed the general scope of work of the project, including reading of Section 01 8000, which describes the availability of the building for construction, the critical date for Partial Substantial Completion and building occupancy, the final Substantial Completion date, etc. Alternates were discussed, though Architect noted that these would all be restructured by addendum. The Architect noted that the Bidders need to carefully study the required exterior masonry scope to assure that the work is not being over-interpreted.
- F. Specific questions asked during Pre-bid Conference:
 - 1. One bidder asked if any possible substitutions had been requested for aluminum windows. Architect noted that prior approval could not be given for possible substitutions, but noted that, in the case of the windows, possible equal products would need to be equal to the specified window in all respects, including engineering characteristics, sightlines, shapes and sizes of aluminum elements such as muntins, glazing stops/pockets, etc. It was discussed that the aluminum window shop drawings, procurement, installation, etc. will be a critical component to meeting the Partial Substantial Completion date for occupancy, due to the length of time for manufacture. *The window scope will need to be carefully managed by the General Contractor to assure that windows are procured, and installed, by the October Partial Substantial Completion date.*
 - 2. One bidder had several questions related to asbestos abatement, and other miscellaneous items, all of which will be answered below.
 - 3. It was discussed that, in bid documents, existing windows are specified to be removed by abatement contractor, and temporary window coverings installed by abatement contractor. However, it was noted that this work could also be divided with the GC, and scheduled in different ways, in whatever way that may be most advantageous to the construction parties and project scheduling. This sequencing would need to be coordinated before the Bid, and included in Bid.
 - 4. One bidder asked for explanation of the Base Bid Assumptions listed on Sht. 0.5. Please note that the Base Bid Assumptions *shall be included in the Base Bid* (example, at Assumption #1: 400 SF x Contractor’s cost per square foot = amount to include in Bid for this Assumption #1). These Base Bid Assumptions will be broken out on contractor’s Schedule of Values.
 - 5. Again, it was discussed that this Project could possibly run concurrently alongside one (exterior mechanical equipment), or two (which would include interior HVAC work), or no, separate mechanical projects, during the same project timeline, with potentially different mechanical contractors. The documents, for all three projects, emphasize that the various contractors shall cooperate with one another to complete all scopes of work within the critical completion dates. Several of the modifications included in the Addendum #2 below relate to the possibility of a separate contractor working on site during the Dorm Renovations project.

SPECIFICATIONS

- Item No. 1:** Refer to Advertisement for Bids, first paragraph, and change “First Floor, Room 117” to “14th Floor, Suite 1401 B”.

- Item No. 2:** Refer to Division 0 and replace pages 7 (Proposal Form) and 11 with new pages attached hereto. Refer to Division 1 and replace pages 24 and 25 with new pages attached hereto (Exhibit "B").
- Item No. 3:** Refer to Specifications Section 02 82 00 and change the following:
- A. Delete "Burrus Hall" from the section title.
 - B. At 1.2/B./1. (Robinson Hall), delete subparagraph "b. Robinson Hall room R86" in its entirety.
 - C. At 1.2/B./1./c., change detail reference "8/1.0" to "11B/2.0"; change the "Alt #1" reference to "Alternate #2".
- Item No. 4:** Refer to Specifications Section 08 52 00/2.09, and add paragraph "B." as follows: "B. At (Add) Alternate #1, provide 5/8" thick aluminum-faced Mapes blank-off panels at certain windows where original window A/C units are reinstalled in the new windows at Alt. #1. See 08 41 13/2.03 for panel specification, and exterior elevations [at Addendum #2]."
- Item No. 5:** Refer to Specifications and add new Section 09 21 00 – Lath and Plaster (Exhibit "C"), for use in patching of existing plaster ceilings and soffits.

DRAWINGS:

- Item No. 1:** Refer to architectural drawings and replace Sheets TS, 0.5, 2.0, 4.0, and 6.0 with the new annotated sheets attached hereto (Exhibit "D").
- Item No. 2:** Refer to Sheet 4.0, details 10A and 10B, and clarify that the end-dams required in these details do not occur at window lintels—this note refers to the continuous metal thru-wall flashing that occurs on the continuous shelf angles. End-dams would occur only at the end of a run, such as where a run of flashing terminates into a wall (e.g., at Window "C").

MECHANICAL:

1. At sheet M3.1, plans "1" and "2", change "Alt #2" reference to "Alternate #3".
2. At Sheet M3.1, drawing "3", route dryer vent thru wall approximately 12' to right of where shown, adjacent to existing furring as shown at architectural "1/2.1".
3. Refer to Sheet P3.11, plans 3 and 4: all references to "Alt #2" at the 2nd/3rd floor laundries shall be changed to "Alternate #3". Laundries at plans 1 and 2 shall be marked as "Alternate #3".

ELECTRICAL:

1. See attached electrical addendum items.

Sincerely,



Stan Wagnon, AIA
BURRIS/WAGNON ARCHITECTS, P.A.

End of Addendum No. 2

PRE-BID CONFERENCE
GS# 101-328 Dormitory Renovations (Re-Bid)
Alcorn State University

DATE: Thursday, 15 Feb 2024

TIME: 10:00 AM

1. **Open Bid:** Thursday, February 29, 2024, 2:00 PM CST
ET Woolfolk State Office Building - 501 N. West Street, Jackson MS 39201
Bureau of Building (Room 1401B, 14th Floor)
2. Parking & Security - allow ample time for parking and check-in with building security. Be mindful on whether the legislature *is/is not* in session.
3. Telephone and desk are not provided for bidders use.
4. Bids are taken until 2:00:00 PM on the Bid Date. The official time clock is located at the Receptionist Desk – 14th Floor.
5. The Mississippi State Board of Contractors is responsible for issuing Certificates of Responsibility to Contractors. Please ensure that your company information is current and up to date, at the time of bid and throughout the length of the job. Bids over \$50,000, must show a Certificate of Responsibility number on the bid and on the face of the envelope containing the bid information.
6. Business Name must be exactly as listed with the MS Secretary of State's Office.
7. Written bid amounts supersede the numeric amounts.
8. Certified Checks are held until bid awarded.
9. Make sure to acknowledge all addenda on bid documents.
10. Provide Mechanical/Plumbing/Electrical Subcontractor(s) information on Proposal Form.
11. Bidder has 24 hours to notify BoB regarding any mistakes with Bid Submittal.
12. Bid Protest(s) must be submitted to the Bureau of Building (BoB).
13. Bidder must hold bid price for 45 day per bid specifications.
14. Notice to proceed will occur approximately 4 to 5 weeks after bid award.
15. Out of State Contractors must submit reciprocating construction law for their resident State.
16. Bureau of Building is the Owner - Contract will be between BoB and the Contractor.

17. If bid is sent by UPS/ FEDX or USPS, it is the Bidder's responsibility to make sure it is delivered and stamped in before 2:00:00 PM on bid date.
18. Electronic bid(s) are accepted for all Bureau of Building, Grounds, and Real Property Management (BoB) projects. To submit an electronic bid, you must register in MAGIC. To ensure you can submit a bid electronically you must register prior to bid date; registration is required only one time. If you register, you will start receiving auto notifications for BoB construction projects. This does not apply to reverse auctions. If anyone wants instructions for how to register, a memorandum from the BoB, dated 05/30/23, is attached.



STATE OF MISSISSIPPI
GOVERNOR TATE REEVES

DEPARTMENT OF FINANCE AND ADMINISTRATION

Liz Welch
EXECUTIVE DIRECTOR

M E M O R A N D U M

TO: Contractors, through the AGC, ABC, and MBOC

FROM: Bureau of Building, Grounds and Real Property Management

DATE: May 30, 2023 (links modified)

SUBJECT: Electronic Construction Bidding per Law effective 1/1/2018

Beginning January of 2018, the Mississippi Department of Finance and Administration / Bureau of Building Grounds and Real Property Management started receiving construction bids electronically as required by House Bill 1106, Laws of 2017. Electronic bids are at the discretion of the Bidder/Supplier. Paper bids WILL STILL BE received as stipulated in the Advertisement / Request for Bids. The instrument being used to carry out this is a program called MAGIC which is available to all State of Mississippi departments, agencies, and Bidders/Suppliers. (MAGIC is the State's Accounting System.)

TO BID USING MAGIC: Potential Bidder/Supplier must first register (see below). When the Bidder/Supplier registers themselves, they will automatically receive their Magic sign-in information. (The Bureau of Building, et al, can assist with this, and, if so, will notify the Bidder/Supplier by email of doing so, so they can contact Magic to get their sign-in information for bidding electronically) Construction Bidders/Suppliers who have received awards in recent years through the Bureau of Building, et al, should already have their company information properly entered. Those companies should still verify that their system "Product Code" is set to "90922" [for construction] in order to receive "system generated Bid Notices" for construction projects. (Bid Opportunities will continue to be in the newspaper, on the Magic Portal, and on the Bureau of Building, et al, web.) When registering, a company should enter their company information EXACTLY as shown per the Mississippi Secretary of State's listing and per their W9. Contact Magic at: mash@dfa.ms.gov or 601-359-1343. A tutorial is available at: <http://uperform.magic.ms.gov/gm/folder-1.11.7512?originalContext=1.11.8507> (when registering, the MS SoS, MBOC, and W9 should all agree.)

HOW BIDDER/SUPPLIER REGISTERES THEMSELVES:

www.dfa.ms.gov

vendor registration (middle of the page)

down the page to State of Mississippi Supplier Registration

Complete that form

And “send” (top left or bottom of form on left)

This is the current link for the info above: https://sus.magic.ms.gov/sap/bc/webdynpro/sapsrm/wda_e_suco_sreg?sap-client=100#

TO ADD THE PRODUCT CODE 90922 once in your MAGIC Address Table click the steps below:

1. Click on Suppliers Self Service Tab.
2. Click Company Data.
3. Click the Process Button.
4. Click Add Categories in the Product Categories section
5. Add the product Categories from here (90922 for construction)

TO VIEW ADVERTISED PROJECT INFORMATION on line

1. DFA Web site
2. Supplier/Vendor
3. Mississippi Procurement Portal
4. (RFx) Procurement Opportunities and Public Notifications
5. Advanced Search Options
6. Major Procurement Category: Select Construction
7. Dept/Agency: Select MS DEPT FINANCE AND ADMINISTRATION 6. SEARCH

Another option from the DFA/BoB web site is to:

1. Select DFA Offices
2. Select Bureau of Building Grounds and Real Property Management.
3. Bid and RFP Notice
4. Construction Solicitations and Bid Tabs
5. Locate the GS# at left of the list and the RFx number at the right.

On both lists, the RFx number for each project is listed which is required in MAGIC when preparing bids.

For additional information regarding registration in MAGIC, contact MMRS at (601) 359-1343 or by email at mash@dfa.ms.gov.

/pgw

PROPOSAL FORM

SECTION 00 4200

Exhibit "B"

To: Bureau of Building, Grounds and Real Property Management
501 North West Street, Suite 1401B [Woolfolk Building]
Jackson, Mississippi 39201

Re: Project # GS #101-328
Project Title Dormitory Renovations (RE-BID)
Location Alcorn State University (Lorman, Mississippi)

I propose to complete all work in accordance with the Project Manual and Drawings within 400 consecutive calendar days for the sum of: (Professional must specify number of days)

BASE BID: (Write in the amount of the base bid in words and numbers. In case of conflict, the written word governs.)

Words: _____ Dollars
Figures: (\$ _____)

ALTERNATES: (Write in the amount of all of the alternates in words and numbers. In case of conflict, the written word governs.)

Alternate #1 ☒ Adds ☐ Deducts

Words: _____ Dollars
(\$ _____)

Description: Remove certain portions of existing corridor ceilings as required to install piping/conduits, and repair/paint; re-install certain window air conditioners in certain new windows. See 01 8000/3.01 for additional description.

Alternate #2 ☒ Adds ☐ Deducts

Words: _____ Dollars
(\$ _____)

Description: Install floor finishes (and paint where shown), as described on Drawings, at certain common areas. See 01 8000/3.01 for additional description.

Alternate #3 ☒ Adds ☐ Deducts

Words: _____ Dollars
(\$ _____)

Description: Renovate rooms R61 and R96 as new laundries, and add new exterior ramp at east end of building. See 01 8000/3.01 for additional description.

Alternate #4 ☒ Adds ☐ Deducts

Words: _____ Dollars
(\$ _____)

Description: Construct new IT closets at second/third floors. See 01 8000/3.01 for additional description.

Alternate #5 ☐ Adds ☐ Deducts

Words: _____ Dollars
(\$ _____)

Description: "Not Used"

Unit Prices:

1.) ACM Floor Tile Abatement: \$ _____ per sq ft

2.) Painting: \$ _____ per sq ft

3.) LVT Flooring Overlay: \$ _____ per sq ft

4.) Face Brick Repair (Robinson Hall): \$ _____ per sq ft

5.) Buried Plumbing Piping:

5a.) \$ _____ per lf 5b.) \$ _____ per lf 5c.) \$ _____ per lf

5d.) \$ _____ per lf 5e.) \$ _____ per lf

6.) Gypsum Board:

6a.) \$ _____ per sq ft 6b.) \$ _____ per sq ft 6c.) \$ _____ per sq ft

6d.) \$ _____ per sq ft 6e.) \$ _____ per sq ft 6f.) \$ _____ per sq ft

Division 0

ARTICLE 2: CONTRACT SUM

Exhibit "B"

2.1 CONTRACT SUM

- 2.1.1 The Owner will pay the Contractor in current funds for the performance of the work subject to additions and deductions by Change Order as provided in the Contract Documents, the Contract Sum of _____ Dollars

(\$ _____). The Contract sum is determined as follows:

Base Bid	\$ _____
Modifications () Adds () Deducts	\$ _____
Negotiations	\$ _____
Alternate No. _____ () Adds () Deducts	\$ _____
Alternate No. _____ () Adds () Deducts	\$ _____
Alternate No. _____ () Adds () Deducts	\$ _____
Alternate No. _____ () Adds () Deducts	\$ _____
Alternate No. _____ () Adds () Deducts	\$ _____
Total Contract Sum	\$ _____

2.2 LIQUIDATED DAMAGES

- 2.2.1 The stipulated liquidated damages described in Paragraph 9.11 of the *Supplementary Conditions* are in the amount of Five Hundred _____ Dollars (\$ 500.00 _____) for each calendar day.

ARTICLE 3: CONTRACT TIME

3.1 TIME

- 3.1.1 The work to be performed under this Contract shall be commenced upon the date stated in the *Notice to Proceed*. The work is to be substantially complete, subject to approved Change Orders, no later than 400 calendar days from the date stated in the *Notice to Proceed*.

ARTICLE 4: PAYMENTS AND FINAL PAYMENTS

4.1 PROGRESS PAYMENTS

- 4.1.1 Based upon applications for payment submitted to the Professional by the Contractor and *Certificates for Payment* issued by the Professional, the Owner will make progress payments on account of the Contract Sum to the Contractor as provided in the Contract Documents.

4.2 FINAL PAYMENT

- 4.2.1 Final payment constituting the entire balance of the Contract Sum will be paid by the Owner to the Contractor when the work has been completed, the Contract fully performed and a final Certificate for Payment has been issued by the Professional and approved by the Owner.

ARTICLE 5: MISCELLANEOUS PROVISIONS

5.1 DEFINITION OF TERMS

- 5.1.1 Terms used in this Agreement which are defined in the General, Supplementary, and Special Conditions of the Contract will have the meanings designated in those Conditions.

5.2 CONTRACTOR'S INTEREST IN AGREEMENT

- 5.2.1 The Contractor will not assign, sublet, or transfer the interest in this Contract agreement without the written consent of the Owner. The Owner and Contractor hereby agree to the full performance of the covenants contained herein.

5.3 PROFESSIONAL

- 5.3.1 The Professional assigned to this Project is as follows:

Name Burris/Wagnon Architects, P.A.

Address 500 L East Woodrow Wilson Ave. Jackson, MS 39216

Telephone 601-969-7543 Fax Number 601-969-9374 E-Mail Address Bill@BurrisWagnon.com

*** END OF SECTION ***

Division 0

SPECIAL REQUIREMENTS

SECTION 01 8000

Exhibit "B"

PART 1 - SUMMARY OF WORK SUPPLEMENT

1.01 WORK SEQUENCE

- A. Owner will occupy the building during construction, coordinate with Owner's Representative in scheduling work to vacate the areas as the Contractor requires.
- B. Construct work in stages as follows:
1. The full scope, interior and exterior, for Robinson Hall shall be brought to "Partial Substantial Completion", on or before, 15 October 2024. The remaining scope, procurement and installation of certain electrical gear, shall be completed before the full 400-day Contract Time.
 2. (400 days total Contract Time) By 180 Calendar days, Contractor shall complete the project to a required Partial Substantial Completion (see 01 8000, Part 5 - Anticipated Delays, 5.02 for more information).
 3. Final 220 days (of full 400 day Contract Time): Contractor shall complete electrical scope, including procurement and installation of all panels, gear, etc., to bring the project to full Substantial Completion within the full Contract Time. See 5.02 below.
 4. Robinson Hall is completely vacated, and will be ready for construction by 1 April 2024; Contractor may begin work immediately after issuance of Notice to Proceed in Spring of 2024.
 5. This Contract may, or may not, run concurrently with a separate mechanical contract. Scope of THIS Contract has been delineated in the Documents. Parts of scope (such as installing plumbing piping in corridor ceilings, so Separate Contractor can re-construct ceilings), must be completed before separate Contractor can complete his scope of work. THIS Contractor shall carefully coordinate work so that his project scope will be complete by 15 October 2024. If the separate contract is NOT awarded, THIS Contractor shall make certain provisions for access in (Add) Alternate #1.
 6. Change out of main switchgear (long-lead items) shall occur during a lengthy school holiday (such as Christmas break), or at the end of school year (May 2025). If necessary, due to gear availability, then 400-day Contract time shall be extended by Change Order, should additional Time be required.

1.02

PARTIAL OWNER OCCUPANCY

- A. Schedule early completion of designated areas for Owner's usage prior to substantial completion of entire Project as follows:
All interior and exterior scope, including facade repairs, new windows, all interiors, lighting/HVAC/plumbing systems, and all site work shall be brought to a state of Partial Substantial Completion within 180 calendar days. Completion of final electrical systems shall be made within the next 220 days, leaving the full project Substantially Complete within the total specified Contract Time of 400 days. See Part 5 of this Section.
- B. Owner will occupy the following areas throughout the Project or during portions of the Project as follows: Owner will occupy interior of this building on or before 15 October 2024.
- C. Prior to occupancy of any portion of the Project, a *Certificate of Substantial Completion* for designated areas shall be executed establishing responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work and insurance for such portion of the Work.

PART 2 - ALLOWANCE SUPPLEMENT

SCHEDULE OF ALLOWANCES

- 2.01 A. Include in the Bid, for inclusion in the Contract Sum, the amount of \$_____ for purchase of _____
(Refer to Section _____, _____)
- B. Include in the Bid, for inclusion in the Contract Sum, the amount of \$_____ for purchase of _____
(Refer to Section _____, _____)

PART 3 - ALTERNATE SUPPLEMENT

3.01 DESCRIPTION OF ALTERNATES

- A. Alternate Number One. Add to Base Bid all labor, materials, overhead, profit, and supervision to 1.) remove portions of existing corridor (and other hard ceilings) ceilings as required to install any new plumbing or electrical feeders required to complete the specified mechanical and electrical scopes of work, then repairing plaster, and painting such ceilings; 2.) reinstall Owner's existing window air conditioners in certain new windows (see extent at exterior elevations, Addendum #2), blanking off around air conditioner units with aluminum panels).
- a. When ceilings/soffits are cut/patched, repaint entire ceiling except for west first floor corridor ceiling - paint patching only in this corridor ceiling.
 - b. Existing ceilings should be assumed to be 3/4"-1" plaster. On metal lath and metal framing. Repair/patch plaster with 3-coat plaster (see spec at Addendum #2), with metal lath and cold-rolled framing infills only where needed.
 - c. Blank-off panels around window A/C units shall be 5/8" Mapes R panel, with clear anodized aluminum facer on each side furnished by Section 08 52 00.

- d. Disconnect, remove, reinstall existing sidewall toilet exhaust fans as required to perform exterior masonry scope. Coordinate with Mechanical/Electrical subs.
e. Furnish new window Type "B" at first floor "mechanical" room at southwest corner of building.

Exhibit "B"

- B. **Alternate Number Two** Add to Base Bid all labor, materials, overhead, profit, and supervision to replace certain floor finishes and base, and to paint certain rooms, locations shown on Drawings.
- C. **Alternate Number Three.** Add to Base Bid all labor, materials, overhead, profit, and supervision to renovate rooms R61 and R96 as new laundries, and add new concrete ramp at east end of building (see sheet TS).
1. Laundry renovations to include doors/frames/hardware at openings 47 & 51.
2. LVT, base, paint, and L.A.T. ceiling (See "6/2.0").
3. Plumbing chase wall.
4. Mechanical, plumbing, and electrical shown in Documents.
- D. **Alternate Number Four.** Add to Base Bid all labor, materials, overhead, profit, and supervision to construct new IT closets on 2nd and 3rd floors, including door/frame/hardware at openings 57 & 58.
1. At Base Bid, existing wood-framed IT closets in corridors shall remain in place (modify existing partitions as required to install new steel structure at window openings - reconstruct partitions as required).
- E. **Alternate Number Five.** "NOT USED"

PART4-- CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS SUPPLEMENT

- 4.01 **FIELD OFFICE** - Not Required.
- 4.02 **UTILITIES** - By Alcorn State University
- 4.03 **PROJECT SIGN** - 4'X 8' sign required. See attached drawing.

PART5-- ANTICIPATED DELAYS

- 5.01 **ADVERSE WEATHER** - See Part 7 hereinafter
- 5.02 The lead time for certain items of electrical equipment (panels, etc.) may delay complete installation of the full electrical systems in a timely manner (before 15 October 2024). Therefore, the project will be divided into two (2) parts, the first with a Partial Substantial Completion at 180 calendar days, and the second part will extend over 220 additional calendar days, for a full project Substantial Completion at the specified full Contract Time of 400 days. The Owner will occupy the interior of the building, and all exterior work is expected to be complete, at the 180 day Partial Substantial Completion. At this time, all renovations within the existing buildings, all site work, lighting/electrical/HVAC/plumbing, and all façade/window improvements (Base Bid & Alternates) shall be fully operational as described below, so that Owner may fully occupy the renovated buildings at 180 days.

In the final 220 days of Contract, Contractor shall receive, and install, all remaining electrical equipment, leaving it in final operating condition, fully inspected and approved, bringing the Project to full Substantial Completion within the specified 400 days total contract time, at which time all warranties for the Project shall commence. The Contractor shall include in his Bid all costs required to provide any temporary connections required, as well as reworking of the system to the permanent conditions, after Partial Substantial Completion, to include any required remobilization, insurance, bonds, etc. necessary to complete the Project.

NOTE: At the time of Partial Substantial Completion for the project, General Contractor may remove the fulltime superintendent from the job (until subs return to complete later work), and shall remove site fencing, etc., from the site, and complete all landscaping, sitework, site cleanup, etc.

PART6-- INSTITUTION/AGENCY REQUIREMENTS

- 6.01 **PROHIBITED ACTIVITIES**
- 6.02 **USE OF PREMISES**

PART7-- ADDITIONAL SUPPLEMENTARY CONDITIONS -- ARCHITECT

See Part 7 hereinafter.

SECTION 09 21 00 - LATH AND PLASTERPART 1 - GENERAL1.01 DESCRIPTION

- A. Scope: Furnish labor, materials, equipment, services, and supervision necessary to provide the lathing and plastering as indicated on the Drawings and specified herein, including patching of existing plaster ceilings where removed for utility installation and access.
 - 1. Match existing adjacent plaster textures.
 - 2. Repair metal lath and/or metal framing as required for utility access holes created.
- B. Related work specified elsewhere:
 - 1. Section 02 41 00 - Demolition
 - 2. Section 09 21 16 - Gypsum Board Assemblies
 - 3. Section 09 91 00 - Painting

1.02 REFERENCES

- A. Gypsum Construction Handbook, latest edition, United States Gypsum Company.
- B. PCA - Portland Cement Association: Portland Cement Plaster (Stucco) Manual.
- C. ASTM C 144-89, "Specification for Aggregates for Masonry Mortar"
- D. ASTM C 150-89, "Specification for Portland Cement"

1.03 SYSTEM DESCRIPTION

- A. Required Coats - Three (3) coats regardless of base.

1.04 SAMPLES AND MOCKUPS

- A. Samples:
 - 1. Prepare and submit a sample, for approval by Owner and Architect, of new plaster to match existing. Sample board shall be a minimum of 3' x 3'.
- B. Mock-Ups:
 - 1. Construct a sample panel of ceiling plaster approximately 2' x 2', as a patch in the existing ceiling.
 - a. Prepare mock-up using self-furring metal lath, trim (including casing beads, edge conditions at dissimilar materials, control joints, etc.), accessories, and 3-coat plaster with smooth texture (to match existing).
 - b. Should the first mock-up be rejected, the sample panel shall be reconstructed as many times as is necessary to attain a satisfactory sample. Each sample shall be cured and allowed to dry prior to inspection.
 - c. Do not proceed with work until sample plaster panel is approved by Owner and Architect.

- d. The mock-up, upon approval by Architect, shall become part of the final Project and shall be a standard for judging the complete work.

1.05 QUALITY ASSURANCE

- A. Manufacturer's Certificate: Certify that products meet or exceed the specified requirements.
- B. Plaster Subcontractor: A company specializing in work required by this Section and with a minimum of ten (10) years documented satisfactory experience on comparable projects.
- C. Pre-Installation Meeting: Conduct meeting at project site, in accordance with Section 01 3119 - Project Meetings. Review methods and procedures of lathing and plastering including, but not limited to, the following:
 1. Inspect substrates to receive new plaster.
 2. Review proposed environmental requirements (heat, ventilation, circulation of air, and humidity control).

1.06 DELIVERY, STORAGE AND HANDLING

- A. Deliver all manufactured materials in the original packages, containers, or bundles and bearing the name of the manufacturer and the brand. Except as otherwise indicated, the mixing, installation and application of manufactured material shall be in strict accordance with the printed directions of the manufacturer.
- B. Protect plaster, lath and all cementitious materials against dampness until used. Store materials off the ground or floor, under cover and away from sweating walls and other damp surfaces. Protect metal lath and accessories in the work.

1.07 PROJECT/SITE CONDITIONS

- A. Environmental Requirements:
 1. Maintain a minimum temperature of 55 degrees F. in spaces to be plastered for at least 7 days prior to plastering, during plastering, and until plaster has cured. Protect plaster from freezing and from uneven or too rapid drying. After plaster has set hard, provide and maintain free circulation of air to prevent sweatouts.
 2. Provide adequate heat, ventilation, circulation of air, and humidity control to allow proper drying and curing of plaster.
 - a. Drying too slowly will produce "sweatout", a defective condition of the plaster that requires removal and replacement.
 - b. Drying too rapidly will produce "dryout", a defective condition of the plaster that requires extensive repair.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Metal Beads: Shall be equal to products of AMICO (Alabama Metal Industries Corp.), ph 800-366-2642.
 1. Casing bead shall be No. X-66 galvanized expanded flange type, typically for ¾" thick plaster, but size may vary as required to match existing job conditions and thicknesses of new plaster.

- a. Use at control joints (back-to-back, with joint for sealant, as detailed), at termination of new plaster against dissimilar materials, and where indicated on the Drawings.
 2. Corner bead shall be No. X-1 galvanized expanded flange small nose type.
 - a. Use at typical outside corner of plaster installation, unless otherwise detailed.
 3. "Z" trim: Equal to Fry Reglet "T Reveal Molding" TRM-75-75.
- B. Framing and furring materials for ceilings and soffits:
 1. Carrying channels shall be 16 gauge cold rolled steel weighing not less than 0.475 lbs./foot, 1-1/2" tall with flanges not less than 17/32" wide, black asphaltum painted finish, length as required.
 2. Furring channels shall be 16 gauge cold rolled steel weighing not less than 0.30 lbs./foot, 3/4" tall with flanges not less than 1/2" wide, black asphaltum painted finish, length as required.
 3. Hanger and tie wires:
 - a. Hanger wire: No. 8 gauge galvanized steel wire. Use to hang carrying channels from structure above.
 - b. Tie wire: No. 16 gauge galvanized steel wire. Use to secure furring channels to carrying channels.
 - c. Tie wire: No. 18 gauge galvanized steel wire. Use to secure lath to furring channels.
 4. Extruded aluminum reveal trim components shall be 6063-T5 alloy with clear anodized 200-R1 finish, 10'-0" lengths.
 - a. Perimeter reveal trim shall be Gordon Part No. JD-3434, with 3/4" wide reveal, for 3/4" thick plaster (stucco).
- C. Metal Lath: Shall comply with ASTM C847 and A653, and equal to products of AMICO (Alabama Metal Industries Corp.), ph 800-366-2642.
 1. Metal lath shall be galvanized diamond mesh self-furring type, weighing 3.4 lbs./square yard.
 - a. Metal lath is required at certain existing interior masonry walls and new masonry infill.
 2. Metal smoothedge cornerlath shall be galvanized diamond mesh, 3" x 3", weighing 2.5 lbs./square yard.
 - a. Cornerlath is required at inside corners of walls to be plastered.
 3. Metal smoothedge striplath shall be galvanized diamond mesh, 6" wide strips, weighing 2.5 lbs./square yard.
 - a. Striplath is required over joints between existing masonry and new masonry infill.
- D. Cementitious Materials:
 1. Plaster: Gypsum gauging plaster, wood fibered gypsum plaster, Keene's cement, hydrated lime, and lime putty shall be equal to standard products of United States Gypsum Company.
 2. Cementitious materials -
 - a. Portland cement: ASTM C150, Type 1, gray.
 - b. Hydrated finishing lime: ASTM C206, Type S.
 3. Equal to products of Western Lime and Lhoist North America.
- E. Aggregate: Plaster - sand shall be clean and comply with ASTM C35. Portland cement plaster stucco - conforming to ASTM C897; scratch coat, sand well graded from fine to coarse; finish coat, light colored silica sand, graded to pass No. 16 mesh sieve.

- F. Reinforcement fibers shall conform to ASTM C1116.
 - 1. Fibers shall be 100% virgin polypropylene in collated, fibrillated form, equal to "Grace Fibers". Fibers shall be 1/2" long, alkali resistant, non-absorptive, and completely non-corrosive.
- G. Water: Shall be clean, fresh, suitable for drinking, and free from mineral and organic substances which would affect plaster set.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Verify that substrates to receive plaster are acceptable. Starting work shall indicate acceptance of existing conditions.
- B. Check substrates for defects. Do not apply plaster until such defects are corrected. Clean existing masonry of all biological growth and debris prior to installing bond coat.

3.02 PREPARATION

- A. Protection: Adequately protect adjacent finish materials against damage from operations of this Section.
- B. Surface Preparation:
 - 1. Refer to Drawings for typical detail of where new plaster joins existing, and the preparation required for bridging different masonry substrates.
 - 2. Apply bonding agent, as hereinafter specified.

3.03 CEILING/SOFFIT FRAMING INSTALLATION

- A. Install framing level and square, to the heights indicated, and in accordance with ASTM C1063. Install framing after above ceiling work is complete. Coordinate the location of hangers with other work.
- B. Install framing to be independent of walls, columns, adjacent construction, and above ceiling work. Securely anchor hangers to structural members or to embeds in structural slabs.
 - 1. A clearance of not less than 1" shall be maintained between the ends of framing channels and abutting walls, columns and adjacent construction.
- C. Space carrying channels not more than 48" o.c. and not more than 6" from parallel wall surfaces. Support carrying channels with wire hangers located not more than 6" from the ends and at maximum intermediate spacing of 48" (or less if required by ASTM C1063).
 - 1. The lower ends of wire hangers shall be saddle-tied to the carrying channels to develop the full strength of the hangers and prevent turning or twisting of the channels.
 - 2. Where carrying channels are spliced, overlap ends not less than 12" with flanges of channels interlocked and securely tied near each end of the splice.
 - a. However, when the splice occurs at an expansion joint, the channels shall be nested and loosely tied to hold together but still allow horizontal movement.

- D. Attach furring channels to carrying channels at right angles and securely saddle-tie with steel wire, or secure with equivalent clips. Space furring channels a maximum of 16" o.c. and not more than 2" from parallel wall surfaces.
 - 1. Where furring channels are spliced, overlay ends not less than 8" with flanges of channels interlocked and securely tied near each end of the splice.
 - a. Furring channels shall be interrupted at expansion joints. However, when the splice occurs at an expansion joint, the channels shall be nested and loosely tied to hold together but still allow horizontal movement.
- E. Reinforce openings in framing system, which interrupt main carrying channels or furring channels, with lateral channel bracing. Extend channel bracing a minimum of 24" past each opening.

3.04 LATH, TRIM AND ACCESSORIES INSTALLATION

- A. Install lath, trim and accessories in accordance with ASTM C1063.
- B. Install metal lath with long dimension perpendicular to furring channels. Pull metal lath taut, with 1" minimum side laps and 1-1/2" minimum end laps.
 - 1. Stagger end laps over supports or lace together between supports with tie wire. Secure side laps to supports and between supports. All other attachments for securing lath shall be spaced a maximum of 6" o.c.
 - 2. Secure metal lath to furring channels and to adjacent lath with 18 gauge tie wire or 12 gauge steel clips, galvanized. Attachment spacing shall not exceed 6" o.c.
 - 3. Install 6" wide striplath diagonally at inside corners of lathed ceilings and at outside corners of lathed openings. Secure striplath to regular lath with tie wires spaced a maximum of 6" o.c.
 - 4. Metal lath shall be cut (not continuous) at expansion/control joint locations.
- C. Install metal trim and extruded aluminum reveal trim in accordance with manufacturer's printed instructions. All trim shall be installed level, square, straight, and shimmed as required for all components to have flush exposed surfaces.
 - 1. Establish location of all expansion/control joints prior to installing perimeter trim. See Drawings for control joint locations. Perimeter trim (extruded aluminum reveal trim) shall be cut to have 1/16" wide open joints centered on intersecting expansion/control joint trim.
 - 2. All joints in trim shall be tightly butted (except at expansion/control joints) and in alignment. Inside and outside corners shall be mitered.
 - 3. Secure extruded aluminum reveal trim to channel framing with corrosion resistant self-tapping screws spaced to a maximum of 16" o.c.
 - 4. Secure expansions/control joint trim, with expanded metal lath flanges, to channel framing with tie wires spaced a maximum of 12" o.c.

3.05 APPLICATION/INSTALLATION (PLASTER)

A. Metal Beads Installation:

1. Metal beads and trim shapes shall be installed straight, true, plumb, securely anchored and wire tied to metal lath. Corners shall be neatly cut and fitted. Joints shall be properly aligned and closely butted.
2. Install casing beads by securing to existing structural glazed tile walls, including new masonry infill, at mortar joints. Casing beads shall be secured tight against the masonry substrate using approved anchors spaced a minimum of 12" o.c.
3. Refer to the Drawings for detail of typical control joint consisting of two casing beads installed back-to-back, with joint for sealant. Metal lath shall be interrupted at control joint locations.

B. Metal Lath Installation:

1. Install self-furring lath with sheets running horizontally and with edges/ends lapped as recommended by lath manufacturer. All laps in lath (including expanded lath flanges of casing beads, cornerlath, striplath, etc.) shall be wire tied at intervals not to exceed 9" o.c.
2. Secure self-furring lath to existing interior masonry walls and new masonry infill with stub nails or other approved fasteners, as follows:
 - a. Existing interior masonry walls and new infill CMU masonry: Space fasteners 12" o.c. horizontally and 8" o.c. vertically (each bed joint of masonry).
3. Cut back existing plaster on adjacent walls and install 6" wide striplath centered over joints between existing masonry and new masonry infill, and secure with fasteners at 8" o.c.

C. Bonding Agent Application (at exterior masonry walls):

1. Sweep or blow masonry substrates as required to remove dust and loose material.
2. Apply the bonding agent uniformly to masonry substrates using brush, roller or spray to form a continuous pink film over the entire surface. Coverage shall be 300-400 square feet per gallon. Allow to dry not less than one hour before applying plaster scratch coat.

D. Plaster Mixing:

1. Plaster shall be mixed in mechanical type mixer. Measurements shall be by volume or weight as specified. Do not use any frozen, caked, or lumpy materials, or material that has partially set. Retempered plaster that has partially set shall not be used.
2. Clean the mixer of all set or hardened material before materials for a new batch are loaded. Keep mixing tools and equipment clean. Mix each batch separately.
3. The mixing sequence and cycle of operations and time shall be in accordance with the material manufacturer's printed instructions.

E. Plaster Thicknesses:

1. All plaster applications shall be 3-coat work.
2. The total thickness of 3-coat plaster work when measured from face of lath or face of masonry base shall be as follows:
 - a. Gypsum plaster on metal lath: 3/4" minimum (match existing).
 - b. Gypsum-sand plaster on masonry base: 3/4".
 - c. Portland cement lime plaster: As required to match existing conditions.

F. Plaster Base Coats:

1. Exterior walls (interior face):
 - a. Portland cement lime plaster base coats are required where indicated on the Drawings and for miscellaneous plaster patching at exterior masonry walls. Mixes shall be proportioned as follows:
 - 1) Scratch coat: 1 sack Portland cement
2 sacks hydrated finishing lime (Type "S")
7-1/2 cu. ft. sand
2# fiber
 - 2) Brown coat: 1 sack Portland cement
2 sacks hydrated finishing lime (Type "S")
9 cu. ft. sand
2. Interior Walls and Ceilings:
 - a. Gypsum-sand plaster base coats on lath and metal studs are required where indicated on Drawings and for miscellaneous plaster patching. Mixes shall be proportioned as follows:
 - 1) Scratch coat: 100# of wood fibered gypsum plaster
1 cu. ft. sand.
 - 2) Brown coat: Same mix as for scratch coat.

G. Base Coat Application:

1. Apply scratch (first) coat with sufficient materials and pressure to adhere firmly to lath or masonry base. Prior to final set, scratch with a scratcher to produce a suitable bond for the next coat.
2. Apply brown (second) coat to true planes and screed in both directions to within 1/16" - 1/8" of finished surface; float and leave rough to receive finish coat. Gypsum scratch coat must be dry before brown coat is applied.
3. Doubling back with brown coat over scratch coat before it is partially dry and set will not be permitted.
4. Portland cement lime plaster base coat plaster shall be cured with controlled water spray 2 days for scratch coat and 5 days for brown coat.

H. Lime Putty:

1. Lime shall be machine mixed with approximately 5-1/2 to 6 gallons of water per 50# bag.

I. Plaster Finish Coats - Types, Mixes, and Locations:

1. Portland cement finish coat shall be applied over Portland cement lime plaster base coats. Finish coat shall be proportioned 1 sack Portland cement to 300# sand. Lime may be added as a plasticizer in amounts up to 10% by weight of Portland cement if dry hydrate, or 25% by column of Portland cement if putty.
2. Gypsum smooth coat trowel finish shall be applied over gypsum plaster brown coat. Finish coat shall be 1 part gypsum gauging plaster and 2 parts lime putty (dry weight).
3. Keene's cement textured float finish shall be applied over gypsum brown coat. Finish coat shall be 100 lbs. Keene's cement, 50 lbs. dry hydrated lime, and approximately 400 lbs. sand (gradation and amount of sand will vary as required to match the approved sand finish sample).
 - a. This textured finish occurs where required to match existing adjacent texture.

J. Finish Coat Application:

1. The thickness of finish coats shall be from 1/16" to 1/8". Apply finish coats to a partially dry brown coat or to a thoroughly dry brown coat that has been evenly wetted; the use of excessive water shall be avoided.
2. Gypsum smooth coat trowel finish coat shall be applied over brown coat to a true, even surface; allow to draw a few minutes and then float and/or steel trowel to a smooth finish free from irregularities and blemishes.
3. Plaster finish coats shall generally be smooth trowel finish, except where a wood float finish may be necessary to match adjacent existing plaster finish which is to remain.

K. Plaster Thicknesses:

1. All plaster applications shall be 3-coat work.
2. The total thickness of 3-coat plaster work when measured from face of lath or face of masonry base shall be as follows:
 - a. Gypsum plaster on metal lath: 3/4" minimum (match existing).
 - b. Gypsum-sand plaster on masonry base: 3/4".
 - c. Portland cement lime plaster: As required to match existing conditions.
 - d. Exception: At "Corridor #1" 130 (ceiling), thickness shall be a skim coat to completely cover existing textured plaster, leaving smooth finish.

L. Plaster Patching:

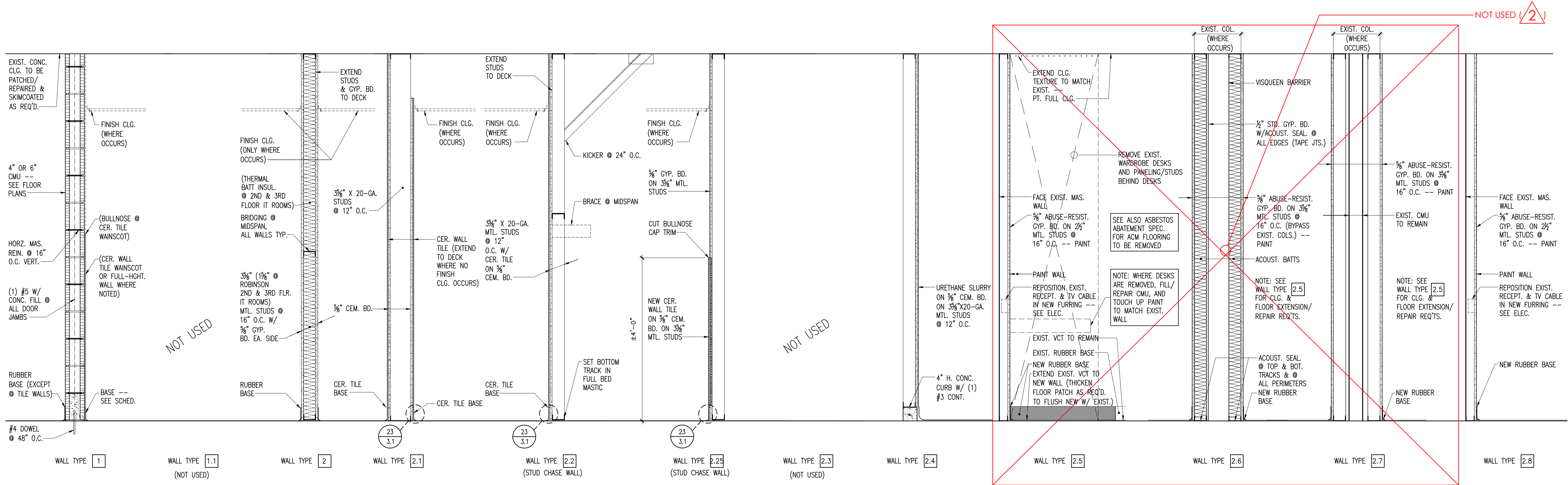
1. Upon completion, point-up and patch both new plaster and existing plaster to remain. Cut out and patch defective and damaged plaster. Patching of plaster shall match existing work in texture and finish and, at joining with existing or previously applied plaster, shall finish flush and smooth.

3.06 CLEANING

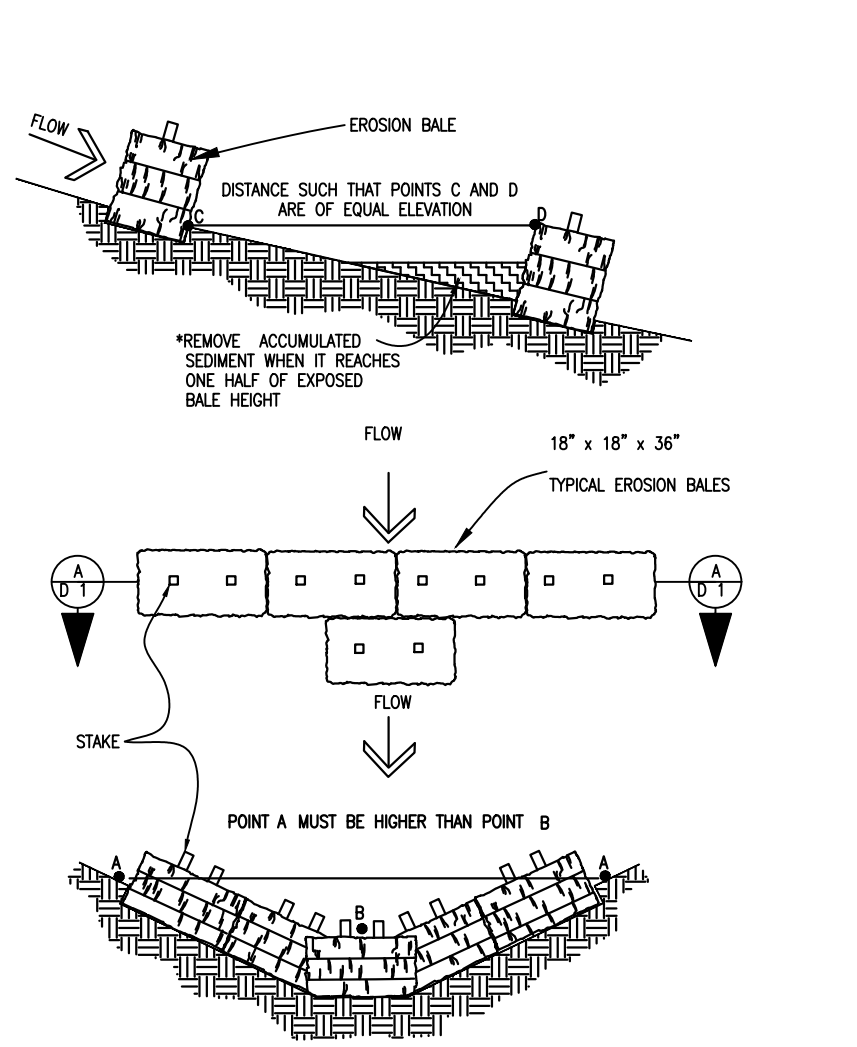
- A. Maintain neat premises. Leave area broom clean and remove plaster from adjacent floors, etc.

END OF SECTION

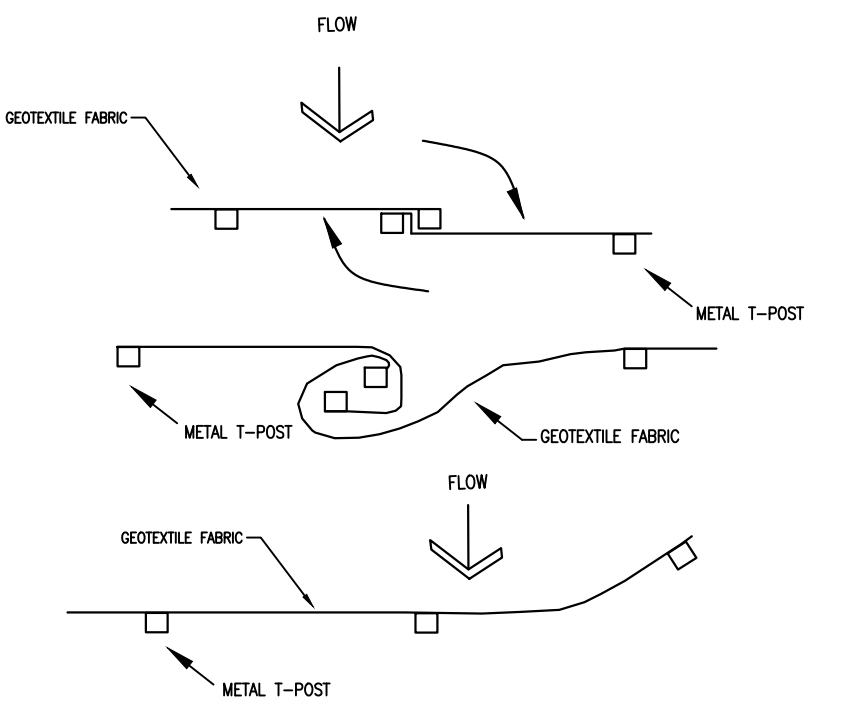
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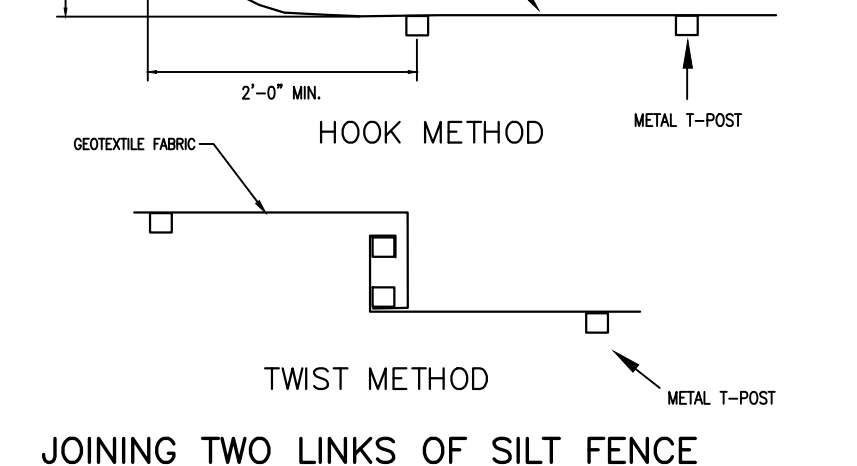
Wall Types



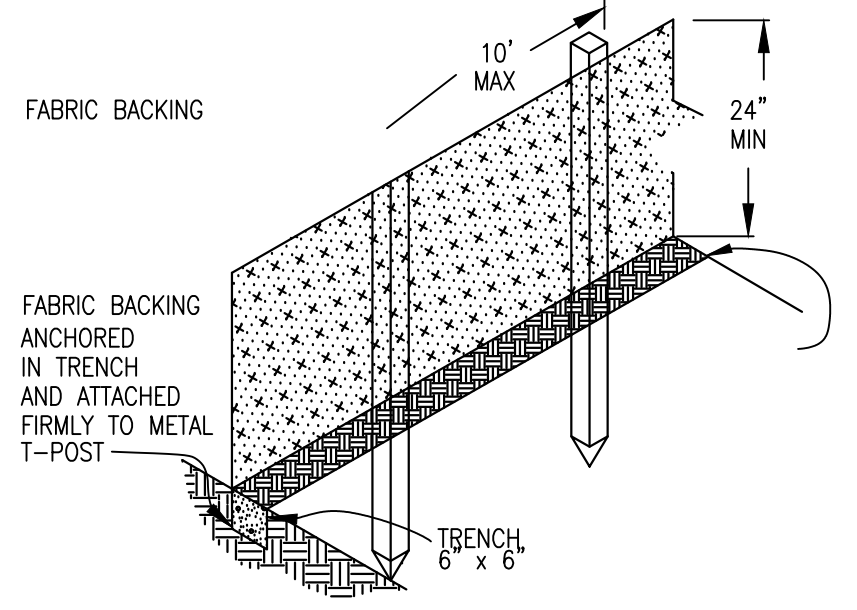
DITCH EROSION -- BALE PROTECTION



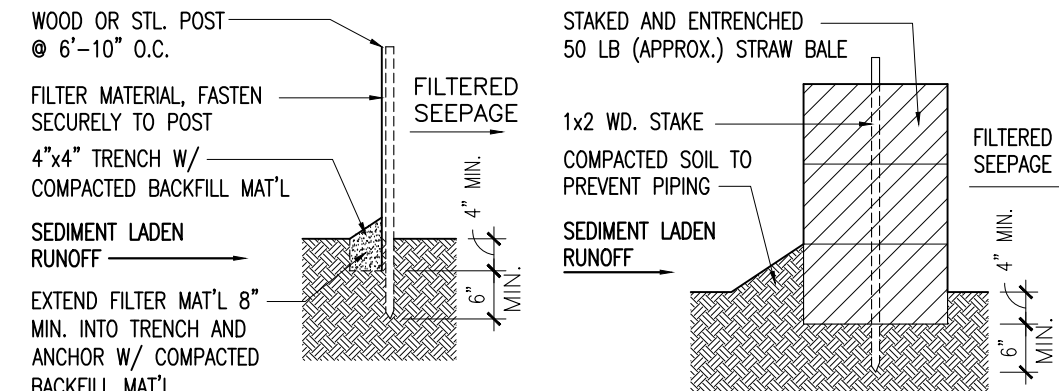
JOINING TWO LINKS OF SILT FENCE



JOINING TWO LINKS OF SILT FENCE



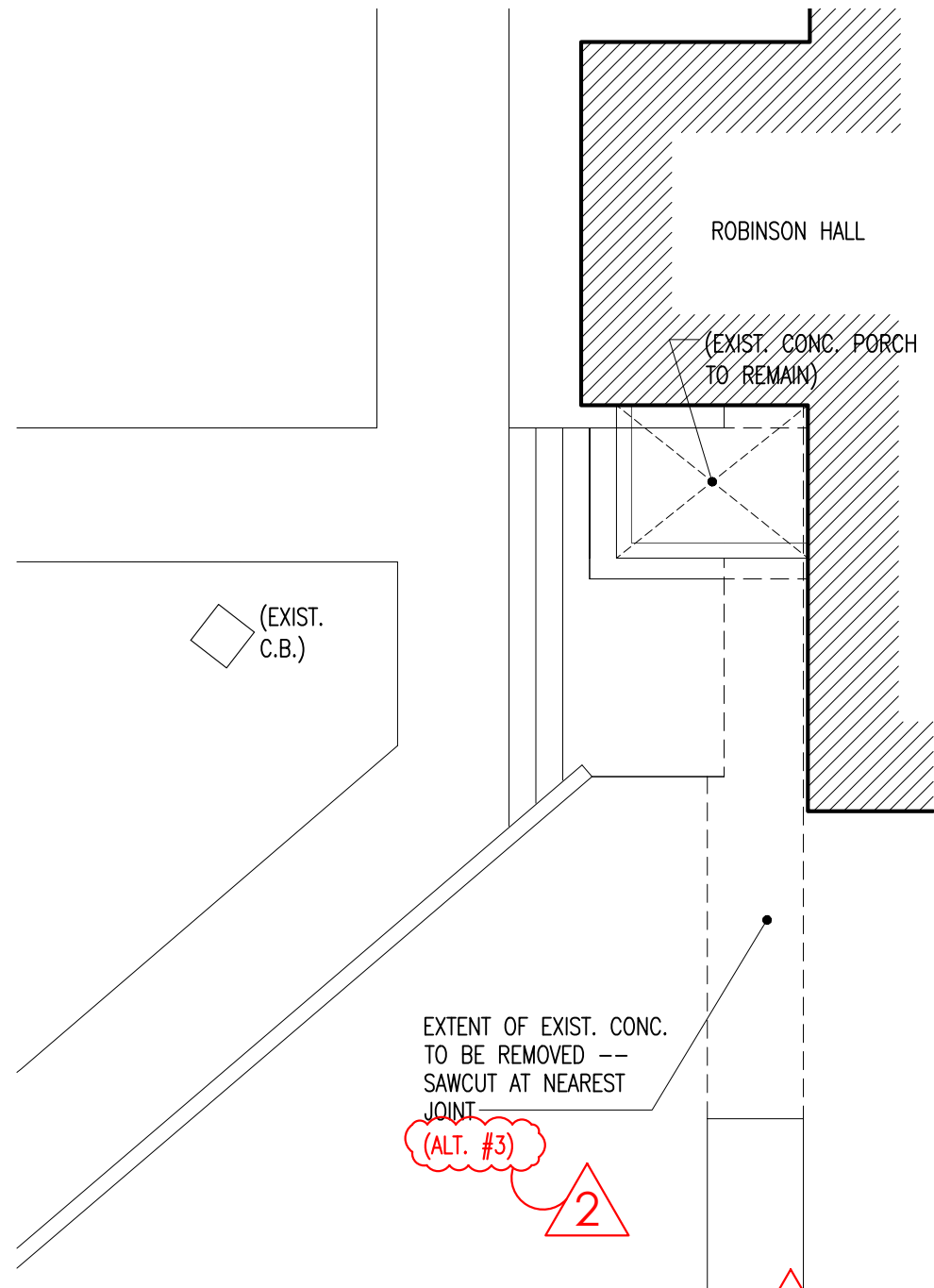
SILT FENCE AXONOMETRIC



Filter Silt Fence Details

NOTE: Provide silt barrier around all new and exist. drainage inlets downslope of this project, or on all project site. See Section 02270.

NTS



Enlarged Site Demolition Plan (Alt. #3) 2 1/8"

Drainage Structure Schedule

Notes	Top	Inlet	Outlet	Detail	Grate/Frame Type	notes
HW#1 (NOT USED)	--	--	--	--	--	--
C.B.#2 (NOT USED)	--	--	--	--	--	--
C.B.#3 (NOT USED)	--	--	--	--	--	--
C.B.#4 (NOT USED)	--	--	--	--	--	--
J.B.#5 (NOT USED)	--	--	--	--	--	--
C.B.#6 (NOT USED)	--	--	--	--	--	--
C.B.#7 (NOT USED)	--	--	--	--	--	--
J.B.#7.5 (NOT USED)	--	--	--	--	--	--
C.B.#8 (NOT USED)	--	--	--	--	--	--
C.B.#9 (NOT USED)	--	--	--	--	--	--
C.B.#10 (NOT USED)	--	--	--	--	--	--
C.B.#11	256.08	--	254.00	11/TS	TYPE 1 (16"x16")	
J.B.#12	*FIELD VERIFY EXIST. GRADE	+252.92* EXIST.	+252.92* EXIST.	12/TS	TYPE 2 (36"x36")	*FIELD VERIFY

Assumptions (to be included in Base Bid):

(Refer to four underlined paragraph headings below for items to be included in Base Bid Assumption.) See related specification sections for material & installation specifications.

ASSUMPTIONS FOR PRODUCTS:

- Purchase products under each assumption as directed by the Professional.
- Amount of each assumption includes:
 - Net cost of product.
 - Delivery & unloading at site.
 - Applicable taxes.
- In addition to amounts of assumptions, include in bid, for inclusion in Contract sum, Contractor's costs for:
 - Handling at site, including uncrating and storage.
 - Protection from elements and damage.
 - Labor, installation, and finishing.
 - Other expenses required to complete installation, including demolition of material to be replaced.
 - Overhead and profit.

SELECTION OF PRODUCTS:

- Contractor shall make appropriate recommendations for consideration of the Professional, based on the original Specifications. Upon notification to Professional of quantities requiring replacement, proceed w/ replacement. Quantities shall be verified by Professional.

DELIVERY:

- The Contractor is responsible for arranging all delivery and unloading and should promptly inspect products for damage or defects and submit claims for transportation damage.

INSTALLATION:

- Comply with requirements of referenced specification section.

Assumption #1: Assume abatement of 400 SF of ACM floor tile (including VCT overlays), to bare slab. Work to include all abatement requirements of Section 02 82 00, including air monitoring.

Assumption #2: Assume painting of 1000 SF of surface area in addition to that already shown on, or required by, the Drawings. Work to include necessary prep specified, primer, & two (2) topcoats. See Section 09 91 00.

Assumption #3: Assume installation of 250 SF of LVT flooring overlay, in addition to that already shown on, or req'd. by, the Drawings. Assumption shall include floor prep, patching, and rubber base. See Section 09 65 00.

Assumption #4: Assume replacement of 150 sf (wall area) of Robinson Hall damaged (chipped, missing, cracked, etc.) face brick, utilizing salvaged brick from shelf angle repair. Includes demolition of existing brick and toothing in of salvaged repair brick.

Assumption #5: Assume replacement of existing deteriorated buried piping (waste and supply water), including excavation, disposal of existing pipe, backfill, compaction, and slab/pavement repairs, in the following sizes:

- | | |
|---|---------|
| a. 6" Cast Iron Outside Sanitary Sewer: | 50 l.f. |
| b. 4" Cast Iron Sanitary Sewer (Below Slab on Grade): | 50 l.f. |
| c. ¾" Type "L" Copper Domestic Water Piping: | 50 l.f. |
| d. 1" Type "L" Copper Domestic Water Piping: | 50 l.f. |
| e. 1½" Type "L" Copper Domestic Water Piping: | 50 l.f. |

Assumption #6: Assume installation of the following categories of gypsum board, in addition to that already shown on, or req'd. by, the Drawings. (Assumption shall include tape, float, and paint)

- ¾" mold-resist. gyp. bd. on ¾" hat chan or ½" resil. chan.: 150 s.f.
- ¾" mold-resist. gyp. bd. one side 3/8" mtl. studs: 150 s.f.
- ¾" mold-resist. gyp. bd. ea. side 3/8" mtl. studs: 250 s.f.
- ¾" mold-resist. gyp. bd. (1 layer) laminated directly to any wall surface (gyp. bd., plaster, masonry, etc.): 300 s.f.
- ¾" suspended gyp. bd. ceiling (metal framing per specs.): 250 s.f.
- ¾" abuse-resist. gyp. bd. on one side 3/8" mtl. studs: 400 s.f.

Unit Prices

Any additional work authorized to be completed by Unit Prices will be added to the Contract by Change Order which has been approved by Owner, Architect and Contractor. Refer to BID PROPOSAL FORM. Costs: Each item of unit price work shall include all costs for materials, labor, handling, delivery, installation, services, coordination, supervision, taxes, overhead and profit. Materials and methods for any additional work under this Section shall comply with appropriate requirements for work indicated in the respective Specification Sections. Unused portions of the Base Bid Assumption shall be credited to Owner per these bid Unit Prices.

SCHEDULE OF UNIT PRICES:

- ACM Floor Tile Abatement:

Unit Price #1, \$____ per square foot of floor area. Should it be determined that ACM tile abatement be needed in addition to that required by Assumption #1, such additional abatement shall be completed per this Unit Price #1.
(a.) Refer to Specifications Section 02 82 13 & req'ts of Assumption #1.

- Painting:

Unit Price #2, \$____ per square foot of surface area. Should it be determined that painting be needed in addition to that shown on, or required by the Drawings, such additional painting shall be completed per this Unit Price #2.
a.) Refer to Specifications Section 09 91 00 and req'ts of Assumption #2.

- LVT Flooring Overlay:

Unit Price #3, \$____ per square foot of floor area. Should it be determined that flooring be needed in addition to that shown on the Drawings or required by Assumption #3, such additional LVT flooring shall be furnished and installed, with necessary floor prep, per this Unit Price #3.
a.) Refer to Specifications Section 09 65 00 and req'ts of Assumption #3.

- Face Brick Repair (Robinson Hall):

Unit Price #4, \$____ per square foot of wall area.
Should it be necessary to replace existing damaged Robinson Hall face brick, including demolition of existing brick, and installation of salvaged brick from existing facades, beyond that provided by Assumption #4, such brick repair shall be furnished and installed per this Unit Price #4.

- Buried Plumbing Piping:

Unit Price #5 \$____ per linear foot as delineated below. Should it be determined that additional buried piping is required (to include water, sanitary sewer, etc.), such additional piping shall be furnished and installed, to include all trenching, backfill and compaction, slab repair, etc. per this Unit Price #5.
Refer to Section 31 20 01 -- Earth Moving.

- | | |
|--|--------------------------|
| a. 6" Cast Iron Outside Sewer: | \$_____ per linear foot. |
| b. 4" Cast Iron Sanitary Sewer: | \$_____ per linear foot. |
| c. ¾" Type "L" Copper Domestic Water Piping: | \$_____ per linear foot. |
| d. 1" Type "L" Copper Domestic Water Piping: | \$_____ per linear foot. |
| e. 1-1/2" Type "L" Copper Domestic Water Piping: | \$_____ per linear foot. |

- Gypsum Board:

Unit Price #6, \$____ per square foot of wall area. Should it be determined that gypsum board be needed in addition to that shown on the Drawings or required by Assumption #6, such additional gypsum board shall be furnished and installed. (including tape, float, and paint) per this Unit Price #6.

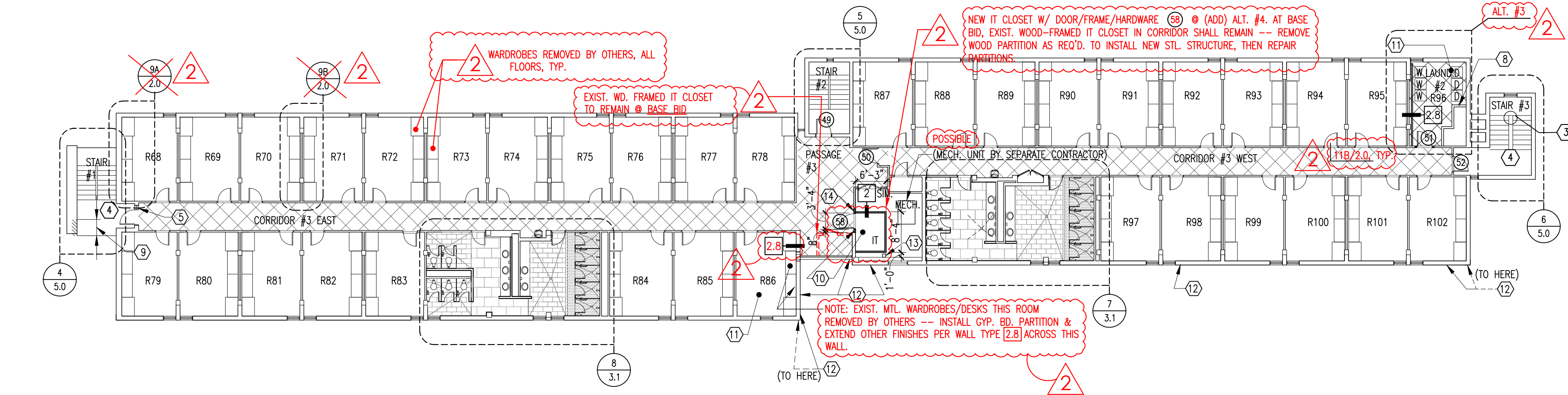
- ¾" mold-resist. gyp. bd. on ¾" hat chan. or ½" resil. chan., per s.f.
- ¾" mold-resist. gyp. bd. one side 3/8" mtl. studs, per s.f..
- ¾" mold-resist. gyp. bd. ea. side 3/8" mtl. studs, per s.f.
- ¾" type x gyp. bd. (1 layer) laminated directly to any wall surface (gyp. bd., plaster, masonry, etc), per s.f.
- ¾" suspended gyp. bd. ceiling (metal framing per specs.), per s.f.
- ¾" type x gyp. bd. attached to exist. wood roof framing, per s.f.



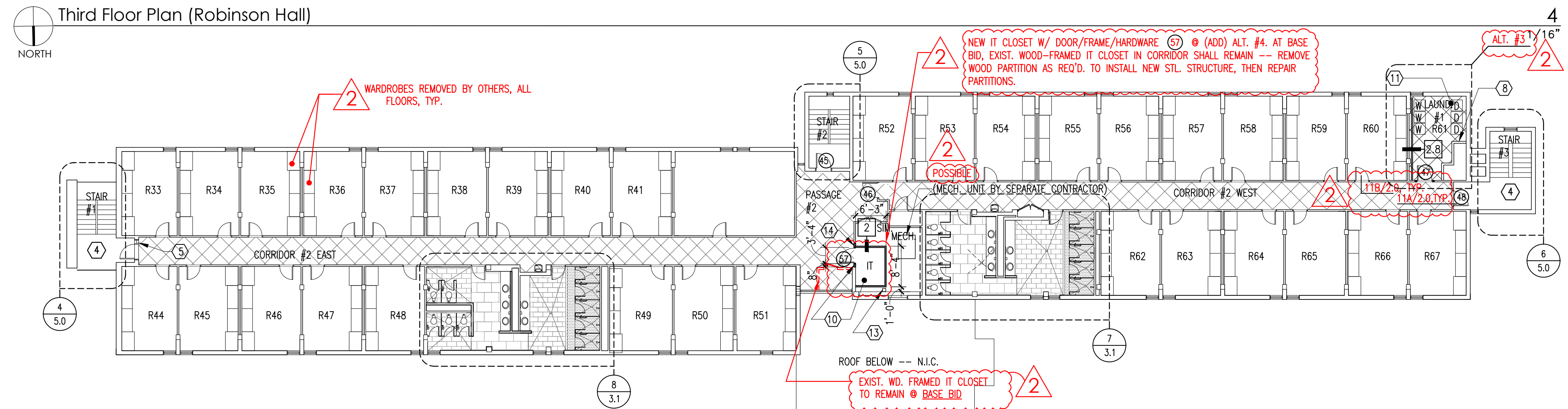
19 December 2023

Dormitory Renovations (Re-Bid)
Alcorn State University
(Iorman, mississippi)

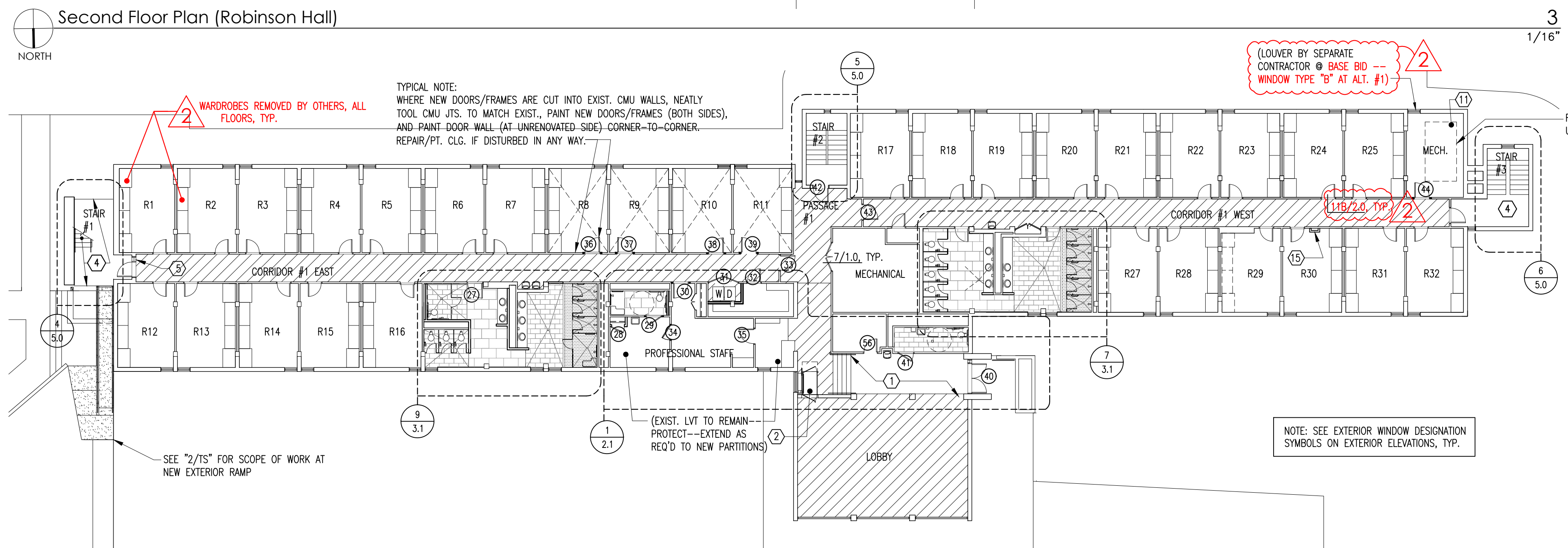
GS# 101-328
BURRIS/WAGNON ARCHITECTS, P.A.
5901 EAST WOODBROW WILSON AVENUE JACKSON MS 39216 PH 6019697543 FAX 6019699374



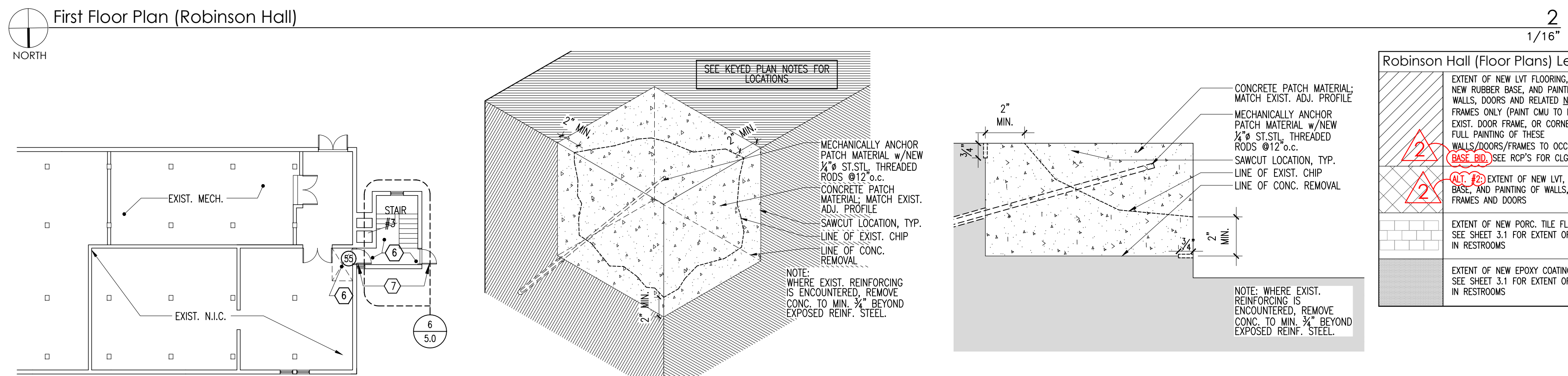
Third Floor Plan (Robinson Hall)



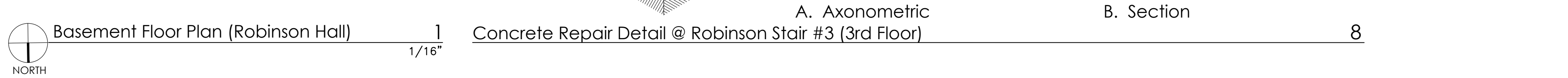
Second Floor Plan (Robinson Hall)



First Floor Plan (Robinson Hall)



Basement Floor Plan (Robinson Hall)



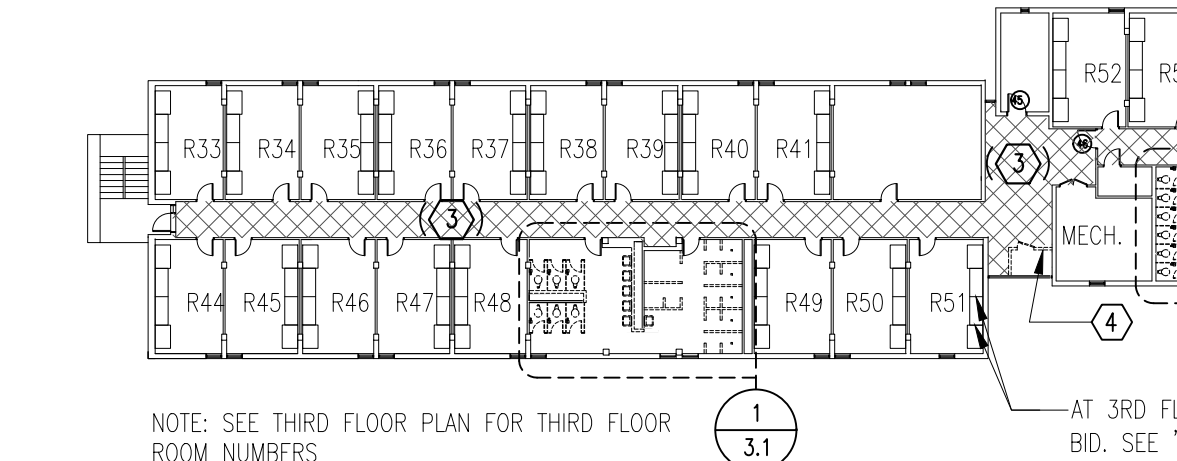
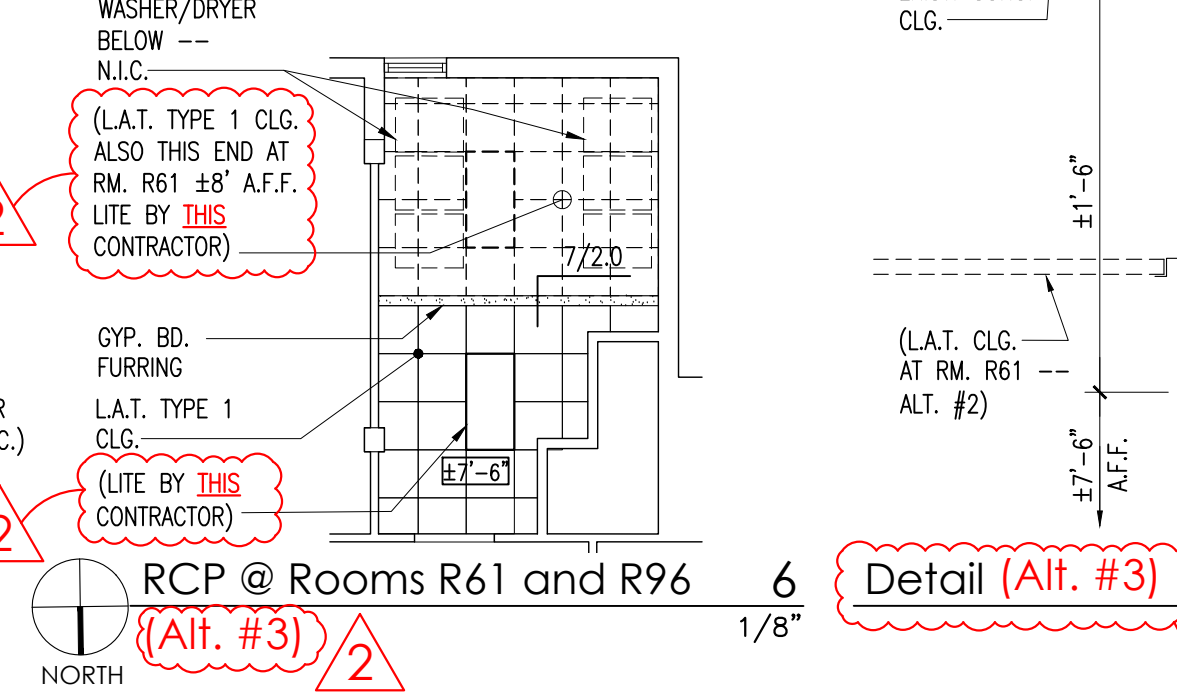
Concrete Repair Detail @ Robinson Stair #3 (3rd Floor)

Robinson Hall Scope of Work - Corridors, Kitchenettes, Laundry Rooms, Stairwells, Common Areas (Lobbies/Entrances), and Handicap Toilets

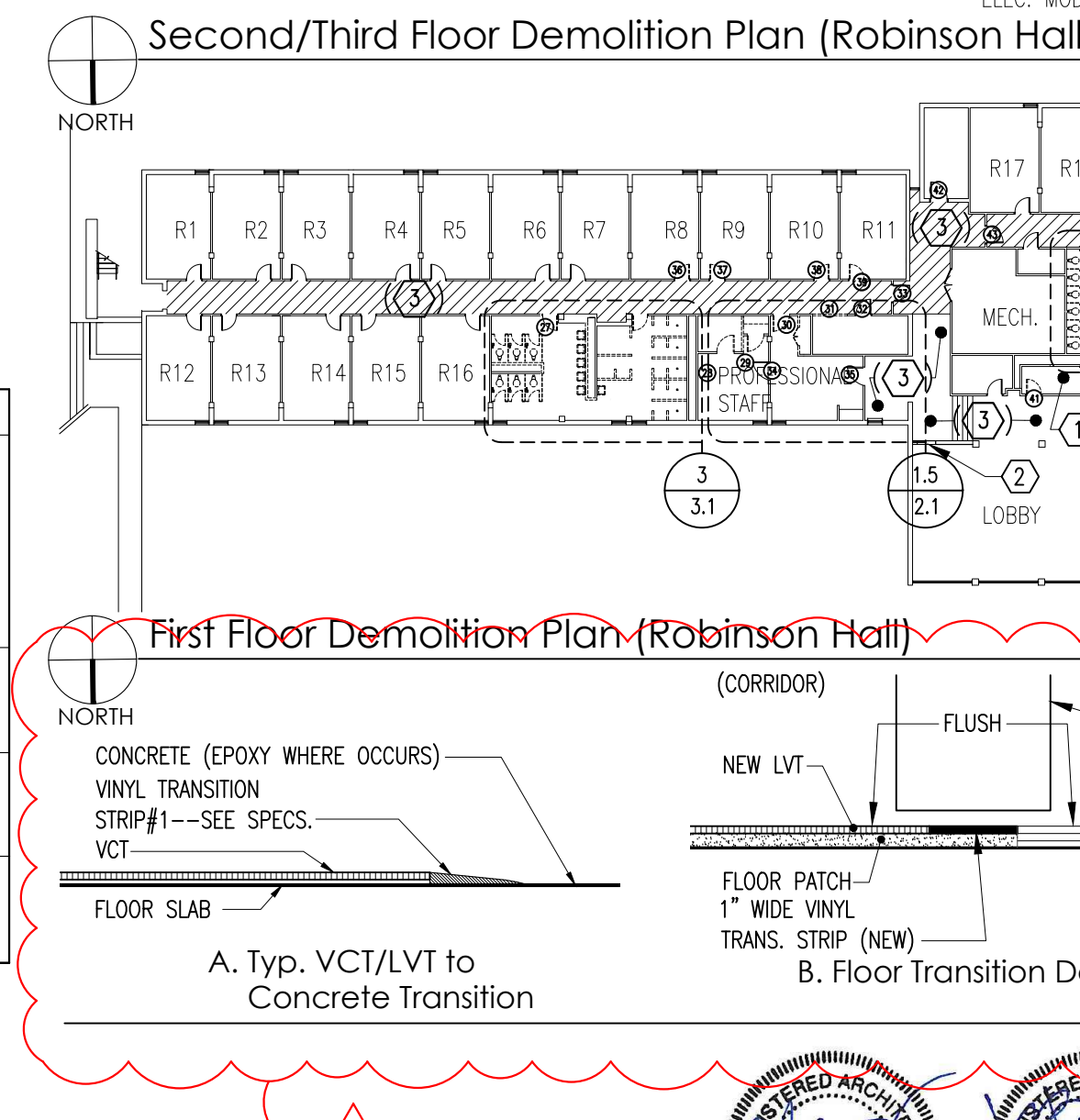
- Painting of renovated areas (see extent of painting at Base Bid and ALT. #2 & ALT. #3 at floor plans legend) shall include all walls, doors, door frames, exist. door grilles to remain and new door grille infill plates (where occur, paint both sides to match door that face the renovated area (e.g., corridors). See typ. note at "2/2.0" below for painting of new doors/walls at unrenovated side of wall. Paint all stairwells (stl. railings, conc. stairs/landings (topside/underside/edges), doors/frames/etc.). Walls in corridors, lobbies, stairwells, toilets, and laundry rooms, shall be painted epoxy. Ceilings: paint exist. textured (or conc.) ceilings that occur within the renovation areas of this Contract. (NOTE: Trenched and repaired exist. plaster clgs. shall be painted wall-to-wall, corner-to-corner, unless noted otherwise.)
- Replace certain doors, hollow metal frames, and hardware as shown on Drawings. Replace damaged grilles at exist. doors to remain w/ infill frames and plates (see 05 50 00) --- pt.
- Flooring: remove exist. VCT (or VAT) to bare slab and install new LVT to extent shown on Drawings. Unless noted otherwise, install rubber base at all locations of new LVT. Remove exist. VCT @ lobby ADA toilet and replace w/ new porc. tile floor/base. See toilet plans for toilet/shower floor finishes. NOTE: At new LVT corridor floors, provide thick layer of floor patch @ new LVT to flush corridor flooring w/ double layer of exist. dorm room VCT to remain.
- Ceilings: install lay-in acoustical ceilings (tiles and grid) where shown at RCP's. Paint exist. textured or smooth conc. clgs. as described above. Repair exist. & damaged/missing ceiling texture per 09 91 00.
- Exterior steel exit doors: paint doors & frames, interior & exterior.
- Stairs: Replace/modify/install new stair railings as detailed. Repair exist. conc. voids/spalls and paint stairs/stairwells as described above.
- Modify exist. Professional Staff apartment as detailed.
- Install new handicap lift at lobby.
- Install ADA operator and guardrail at front entrance.
- Tighten exist., or replace any missing door keepers @ stair doors, assuring positive latching of exit device.
- Other scope as noted.

Keyed Floor Plan Notes

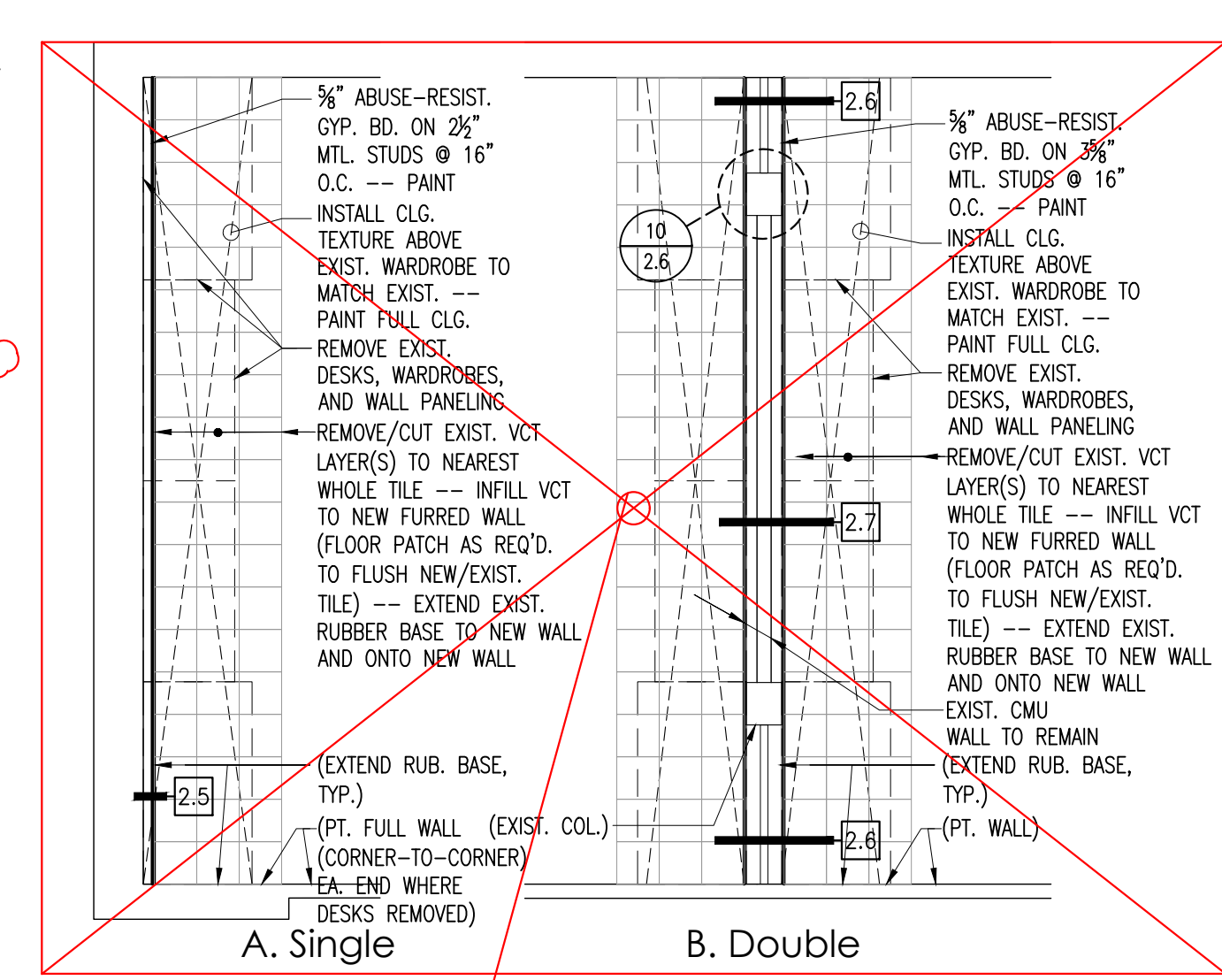
- Exist. brick floor to remain --- protect during construction.
- New HC lift --- see specs & elec.
- Repair exist. conc. corner per "8/2.0".
- Prep and paint previously painted conc. stairs/landings (topside/underside), full height.
- Remove plexiglass @ sidelites and replace w/ Glass Type 2.
- Remove silt, clean floor, and paint.
- Paint all exist./new door frames typ. all stairwells.
- Chase partition in separate Contract (N.I.C.) --- paint in this Contract @ ALT. #3.
- Remove/repair exist. damaged brick w/ salvaged brick, ±1"-8" wide, slab-to-slab --- finger into exist. Provide mas. ties @ 16" o.c. e.w.
- New IT closet. Install new dr./frame @ location exist. lower. Infill around new frame w/ new 4" cmu, infilling exist. lower area.
- Wardrobe/desk in removed this room in separate Contract.
- Extent of galv. shelf 4, 4x6x1/2" --- see also note 8 @ exterior elevations.
- Exist. exhaust duct to remain.
- At ALT. #4 infill exist. duct (to be removed by separate Contractor) opening above door w/ 4" cmu (to deck).
- Full-height, 4" cmu chase @ water risers --- paint and provide rubber base --- field-verify exact location w/ plumbing.



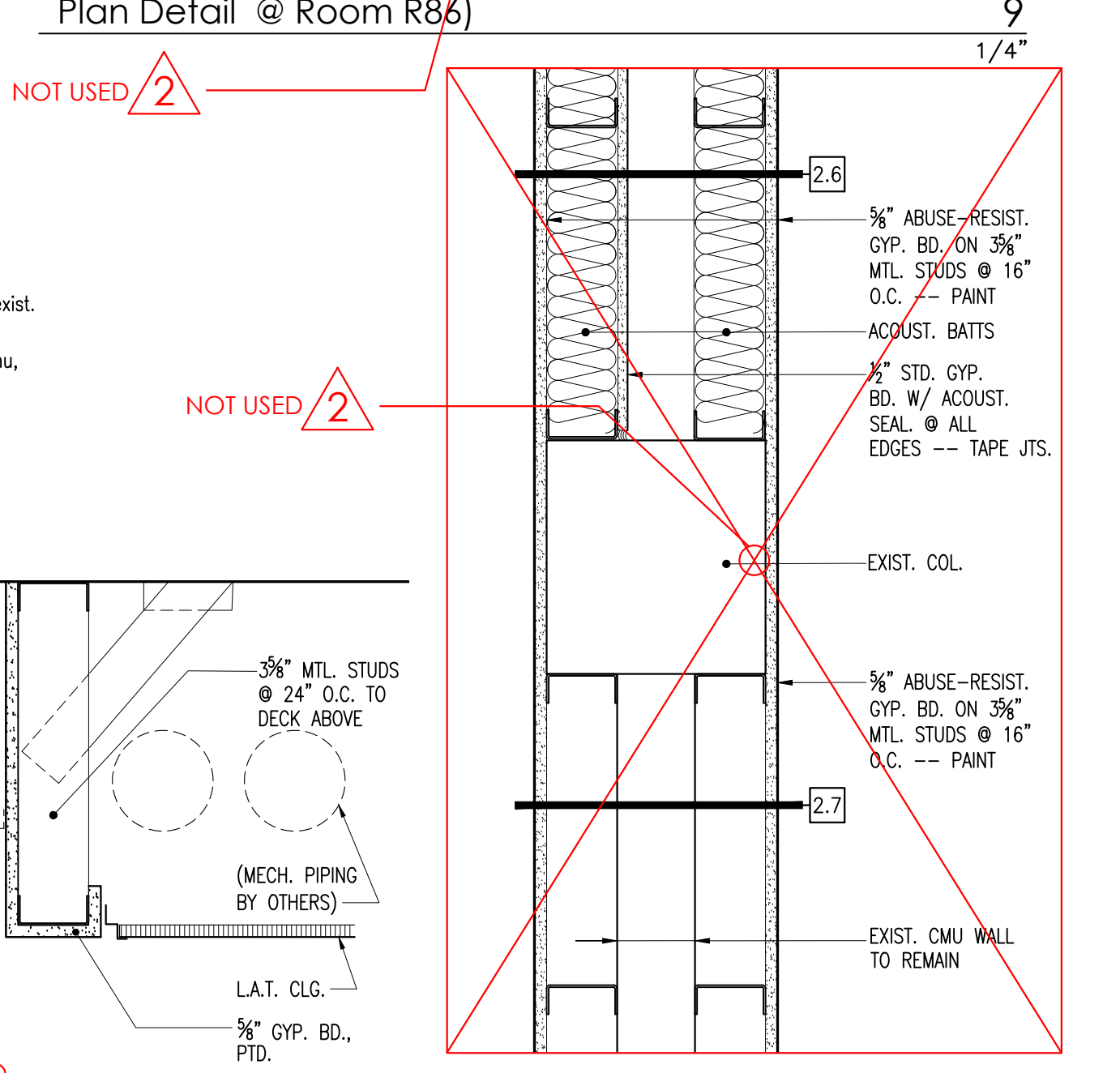
Second/Third Floor Demolition Plan (Robinson Hall)



First Floor Demolition Plan (Robinson Hall)



Plan Detail @ Room R86



Plan Detail

Robinson Hall Demo Plans Legend	
	BASE BID: REMOVE EXIST. VCT AND/OR VAT TO BARE SLAB (SEE ALSO ACM ABATEMENT SPEC.)
	ALTERNATE #2: REMOVE EXIST. VCT AND/OR VAT TO BARE SLAB (SEE ALSO ACM ABATEMENT SPEC.)
	DOOR TAG --- SEE DOOR SCHED. FOR SCOPE OF NEW WORK. REMOVE EXIST. DOORS AND/OR FRAMES AS REQ'D. TO ALLOW FOR NEW DOORS/FRAMES.

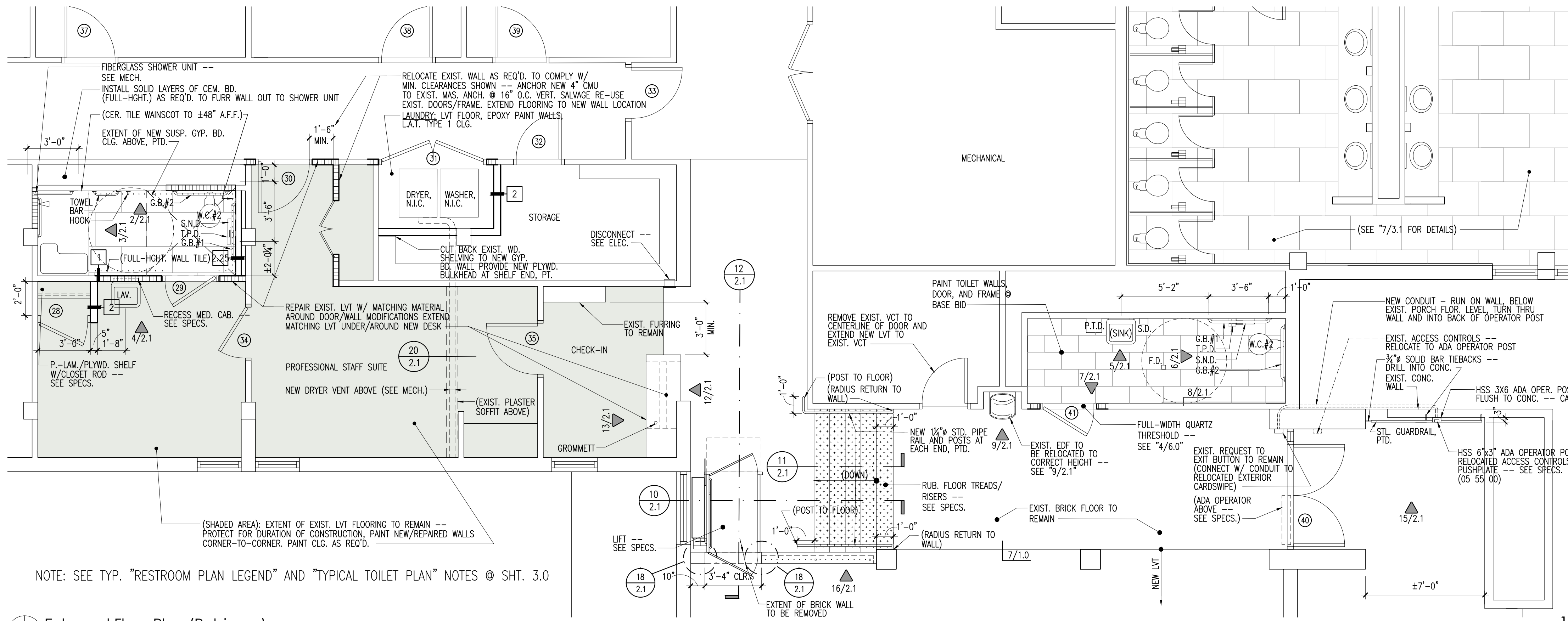
Demolition Plan General Notes

- Remove exist. exterior windows/blinds/sealants/etc. @ all openings designated to receive new windows.
- Remove certain steel railings as req'd. to install new railings --- see Sheet 5.0.
- Remove exist. VCT indicated to bare slab. See also asbestos abatement spec. for ACM flooring to be removed.
- Gyp. bd., plaster, and L.A.T. clgs. are generally removed (where needed for new mech./elec. work access) by the separate Mechanical Contractor(s).
- When removing exist. doors/frames for new frames, remove exist. cmu to nearest joint.

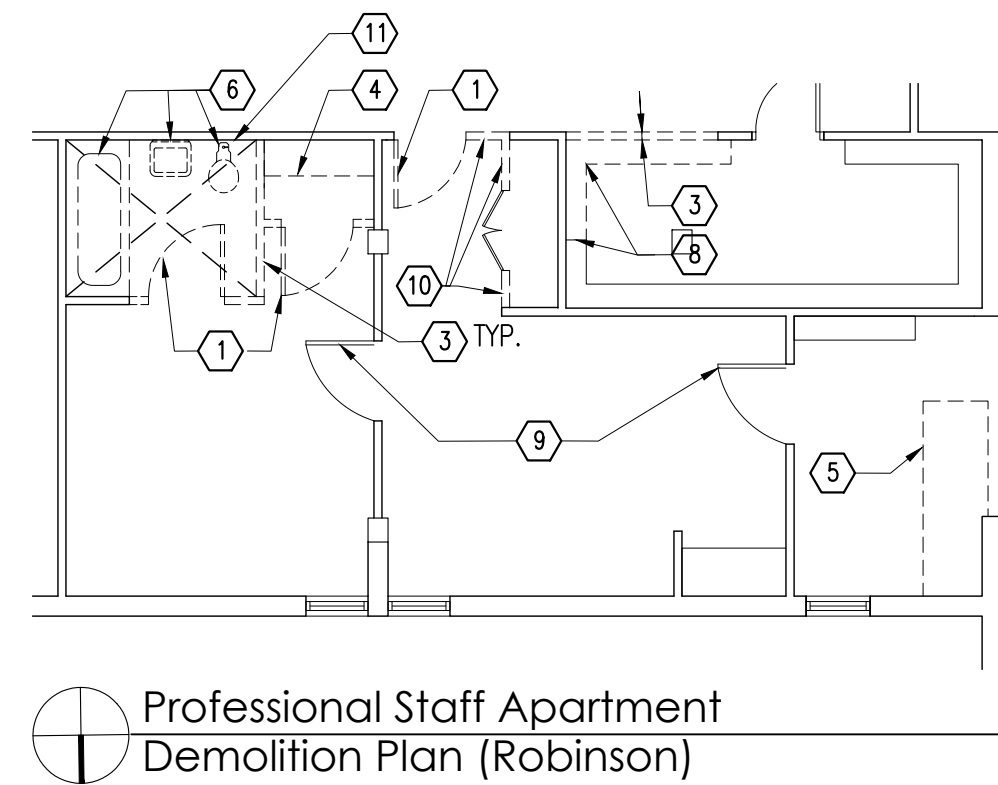
Keyed Demolition Plan Notes

- Remove exist. VCT floor and rub. base, grab bars and accessories, door/frame, etc. plumbing fixtures, --- see Mech.
- Sawcut/remove exist. brick wall --- see extent @ "2/2.1".
- Base Bid: Exist. hard clgs. to be removed by separate Contractor. This Contractor shall install his new systems, then separate Contractor will re-install and paint new clgs. At (Add) ALT. #1, THIS Contractor shall trench exist. plaster clgs. as req'd. for M/E access, install new M/E systems, then patch exist. plaster clg. where trenching occurs, point entire clg. wall-to-wall, except where noted otherwise.
- Remove exist. wd. frame IT closet. Campus ITS shall remove exist. active equip. to storage. Racks shall be removed and securely stored on site by this Contractor; cabling shall be removed by separate Contractor.

Keyed Demolition Plan Notes

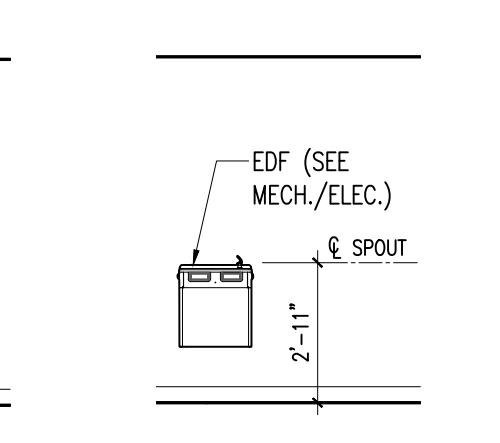
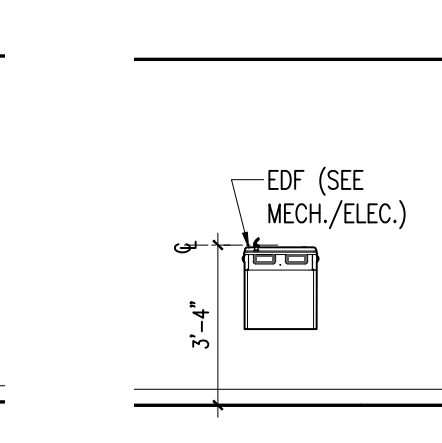
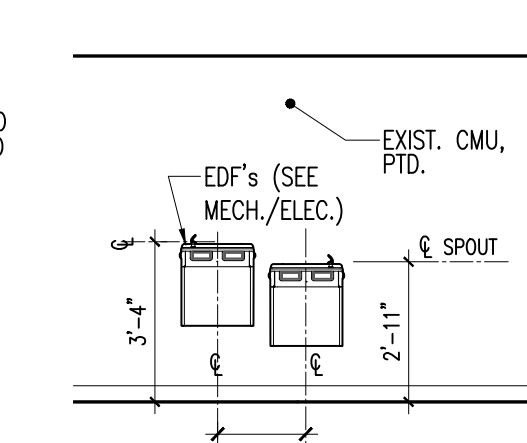
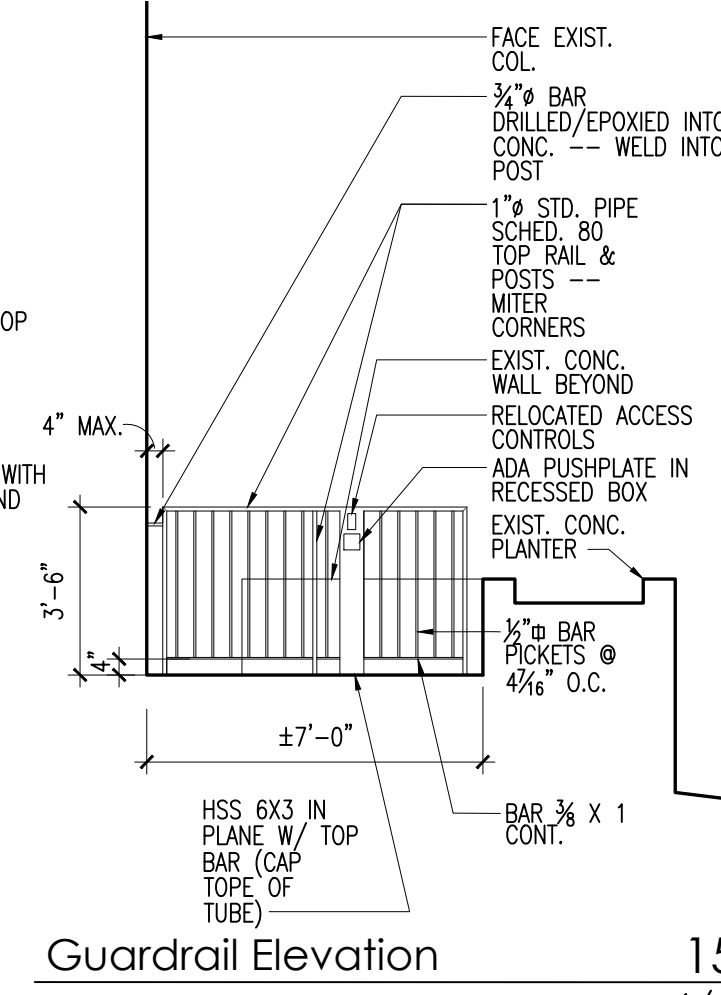


Enlarged Floor Plan (Robinson)

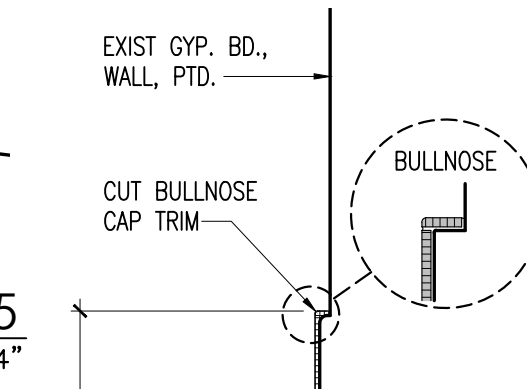


- Keyed Demolition Notes**
- 1 Remove exist. door/frame.
 - 2 Remove epoxy floor/mudbeds to bare slab.
 - 3 Remove exist. masonry partitions (to nearest jt.).
 - 4 Remove exist. wd. shelving.
 - 5 Remove exist. millwork
 - 6 Remove exist. plumbing fixture --- see Mech.
 - 7 Remove exist. cer. tile and mudbed and cer. tile wainscot to bare cmu.
 - 8 Remove exist. wd. shelving --- bulkhead as noted at "1/2.1".
 - 9 Remove/replace exist. lockset. --- see Specs.
 - 10 Remove exist. cmu --- salvage double doors/frames --- see "1/2.1".
 - 11 Remove exist. chase wall as req'd. for access --- reconstruct w/ cmu.

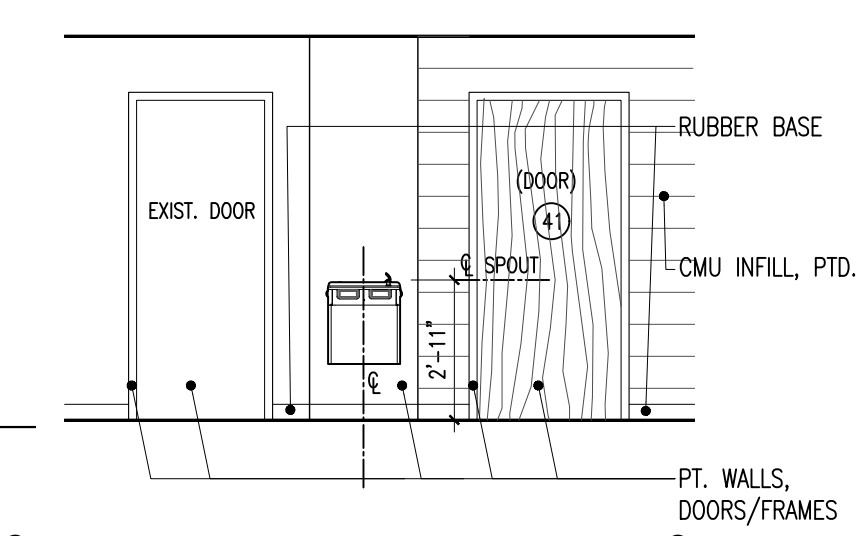
Professional Staff Apartment Demolition Plan (Robinson)



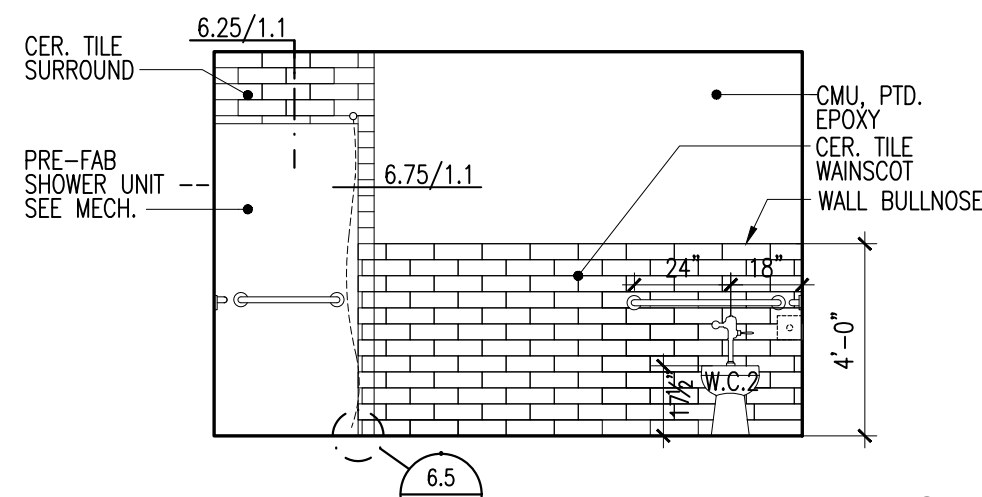
Interior Elevation - EDF 21 1/4" Interior Elevation 22 1/4" Single EDF Interior Elevation 23 1/2" Single EDF



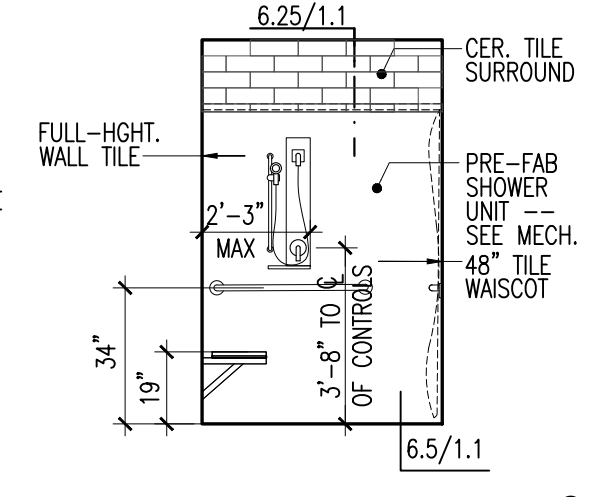
Detail 15 1/4"



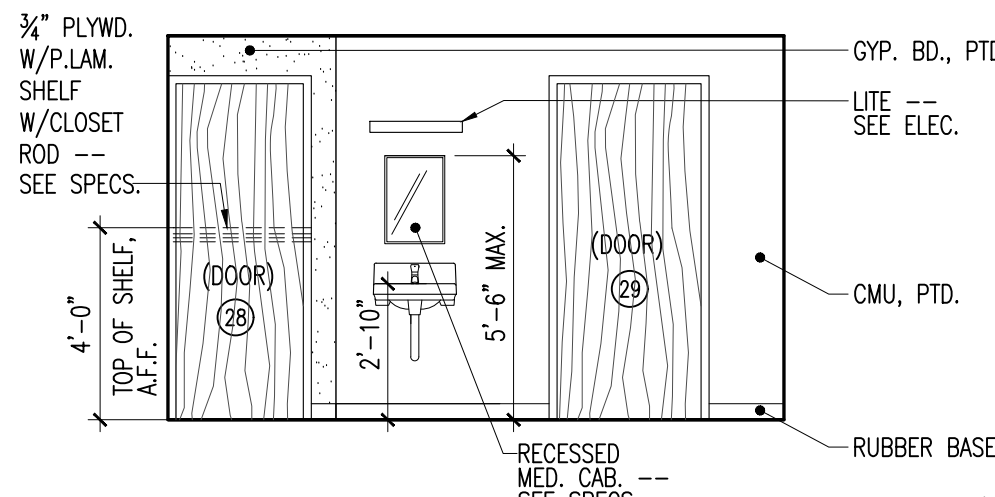
Interior Elevation - EDF 8 3/4" Interior Elevation - EDF 9 1/4"



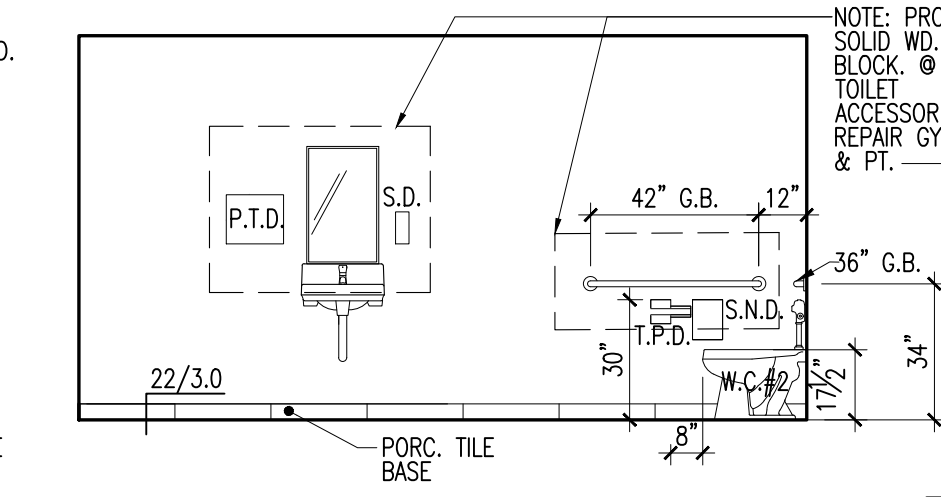
Interior Elevation 2 1/4"



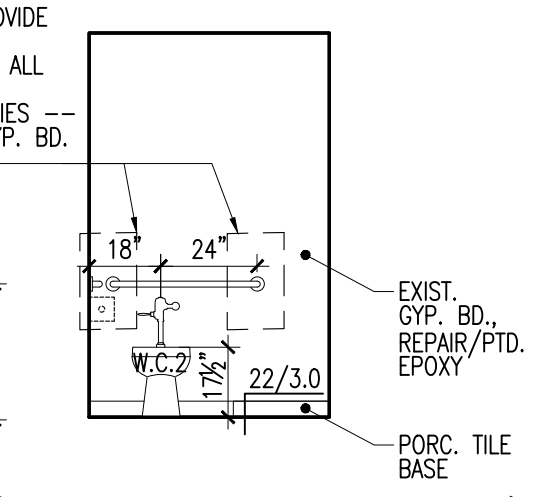
Interior Elevation 3 1/4"



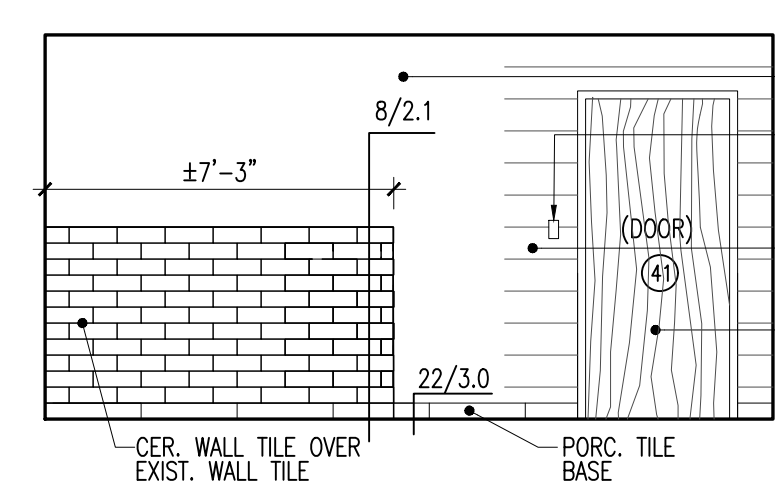
Interior Elevation 4 1/4"



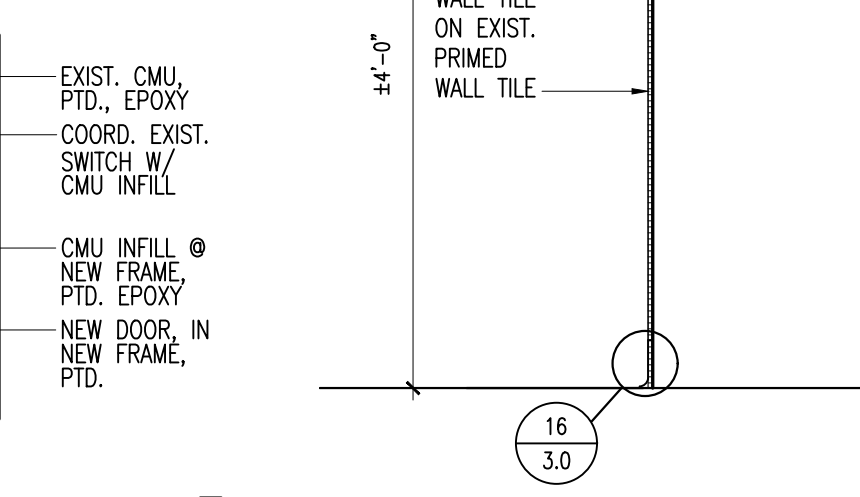
Interior Elevation 5 1/4"



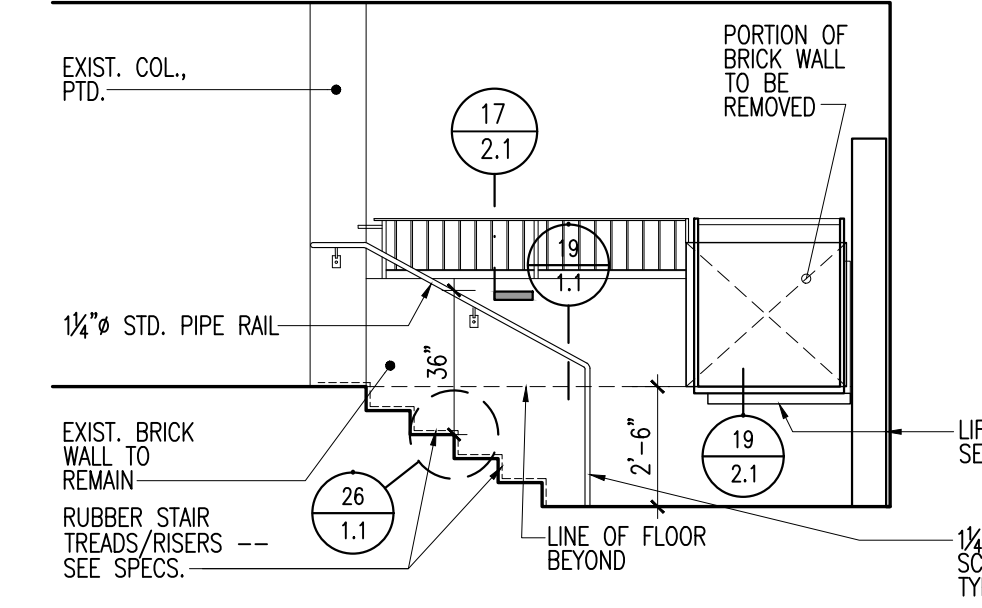
Interior Elevation 6 1/4"



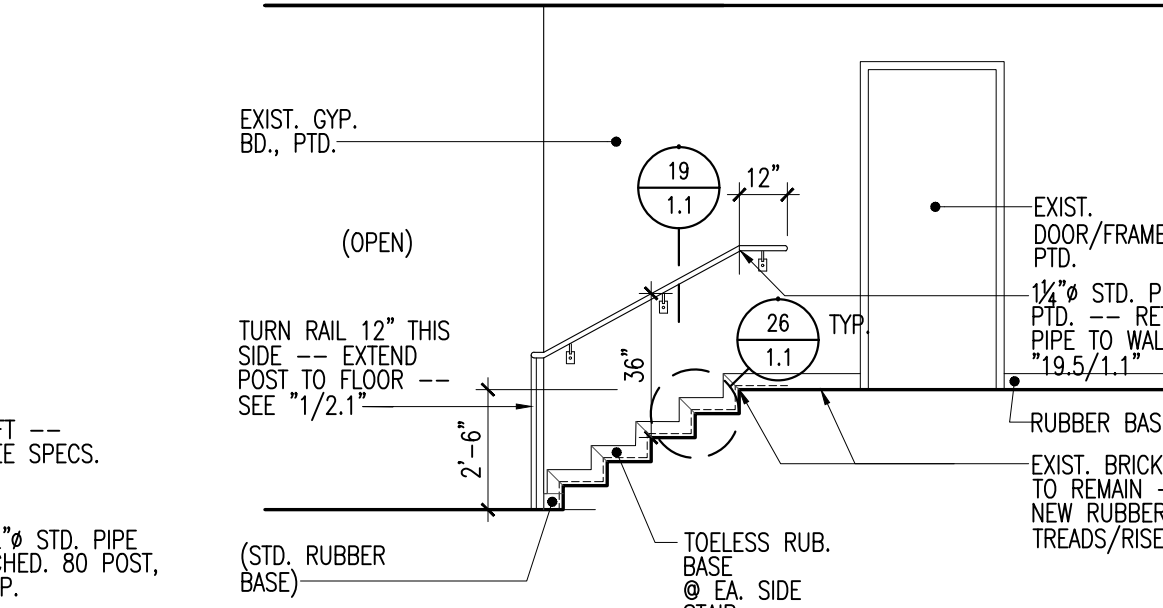
Interior Elevation 7 1/4"



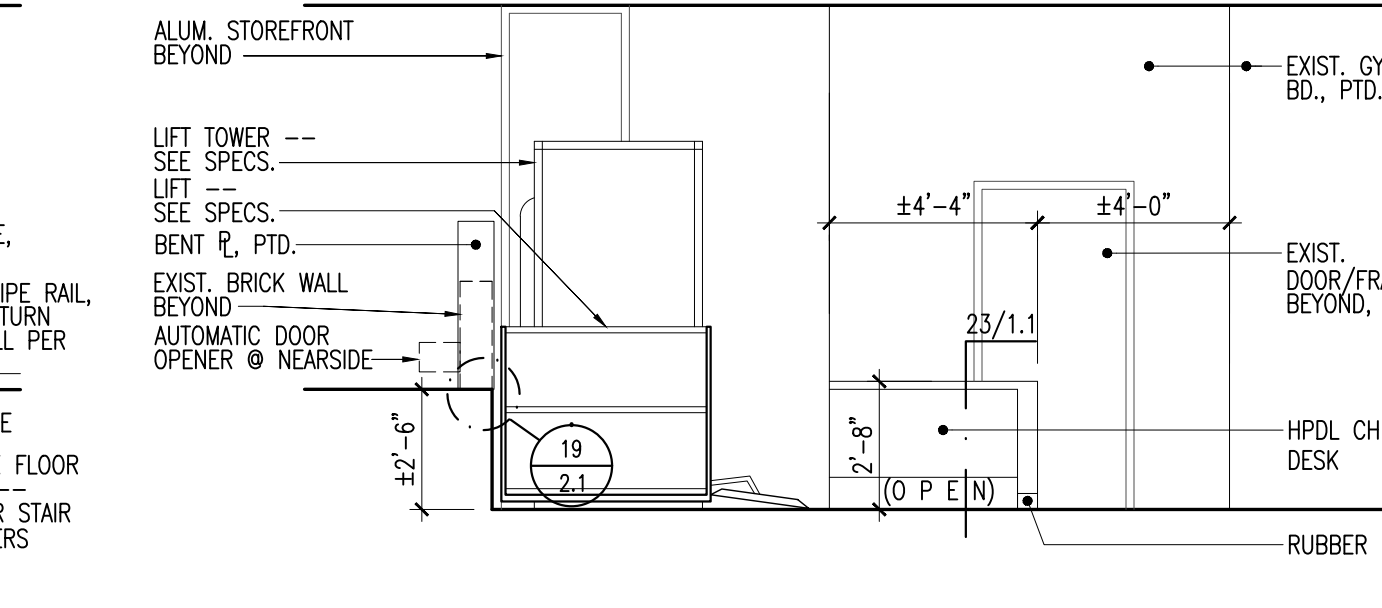
Detail 13 1/4"



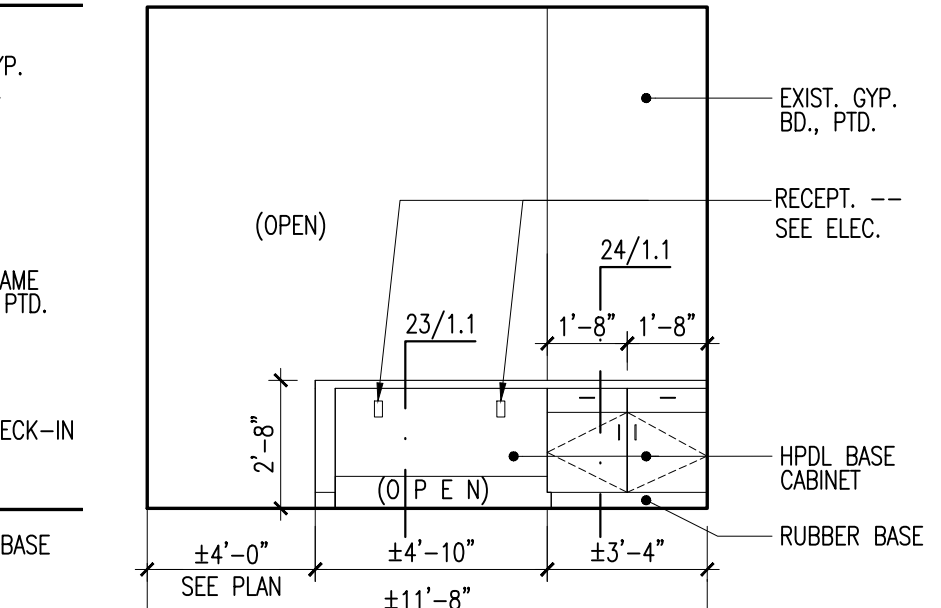
Section 10 1/4"



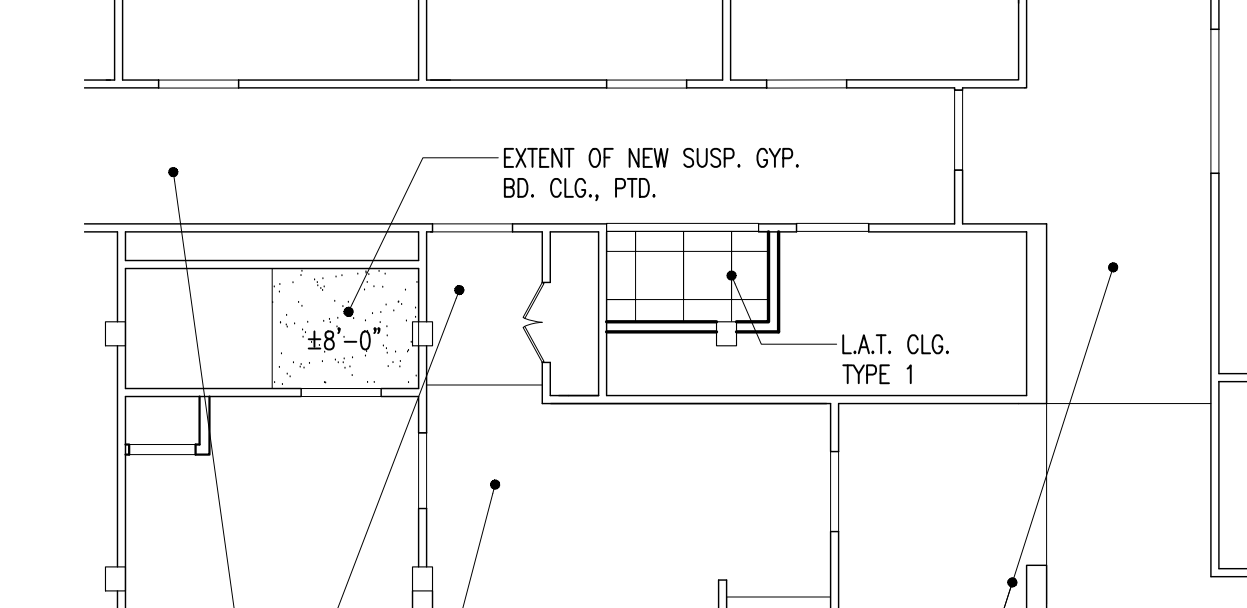
Section 11 1/4"



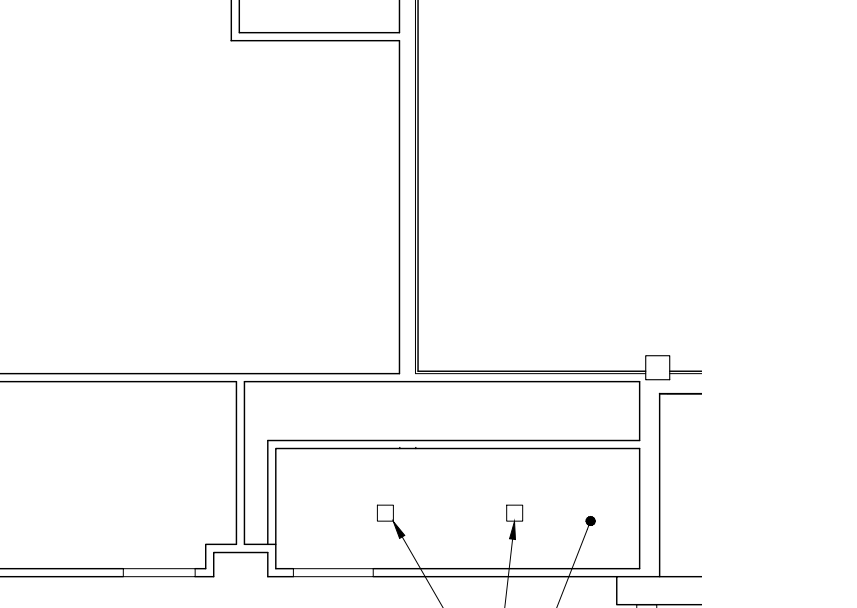
Section 12 1/4"



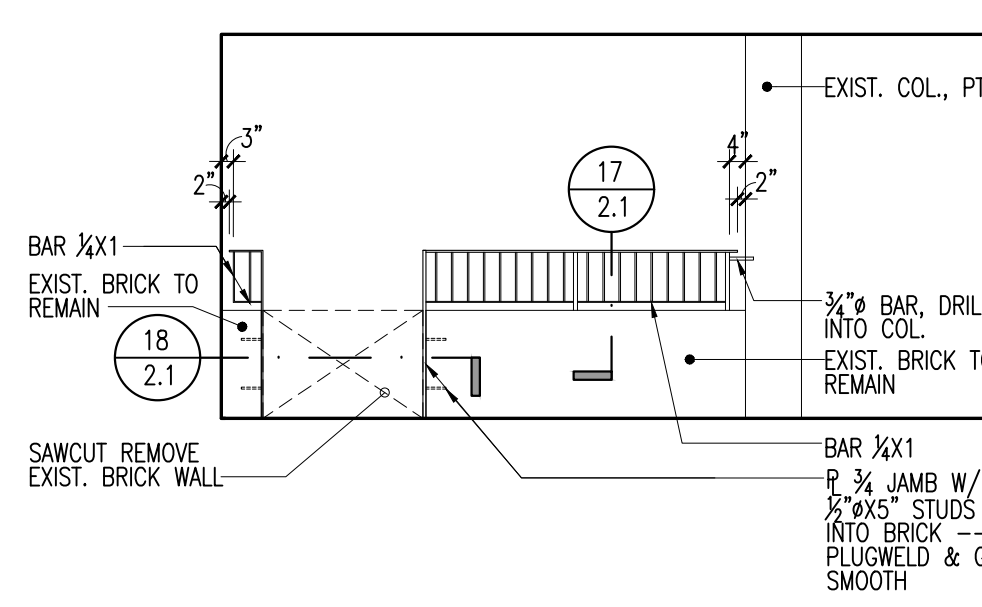
Interior Elevation 13 1/4"



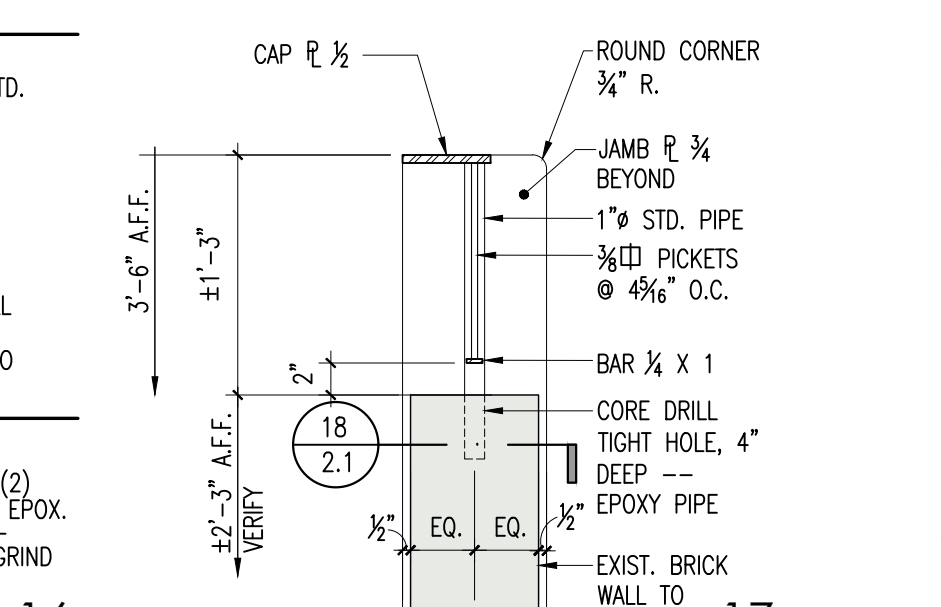
Section 14 1/4"



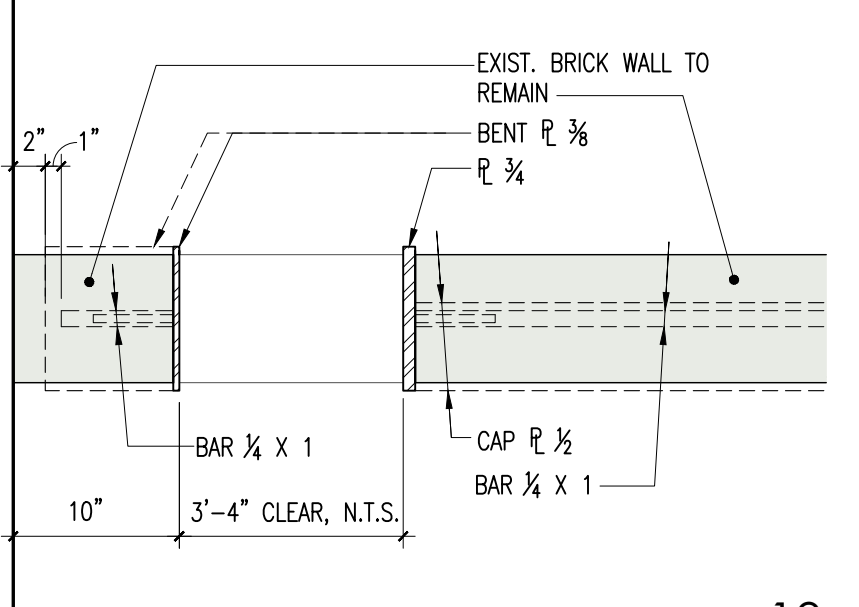
Section 15 1/4"



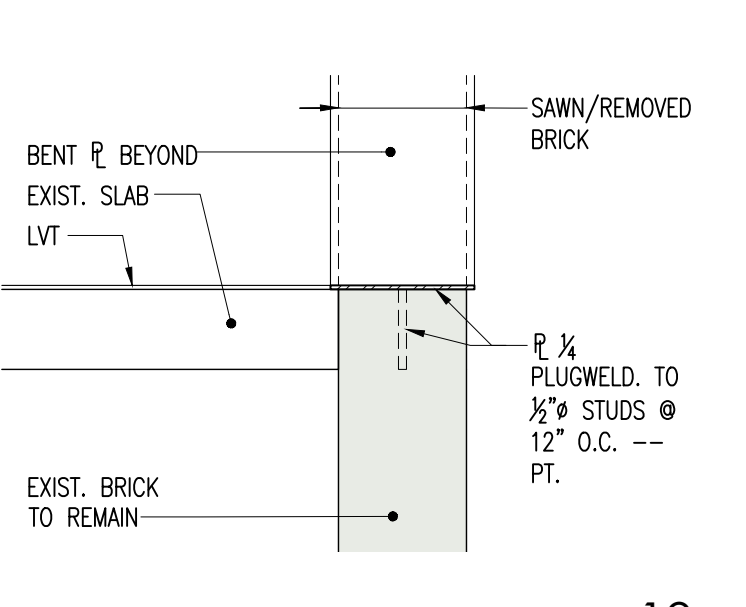
Elevation 16 1/4"



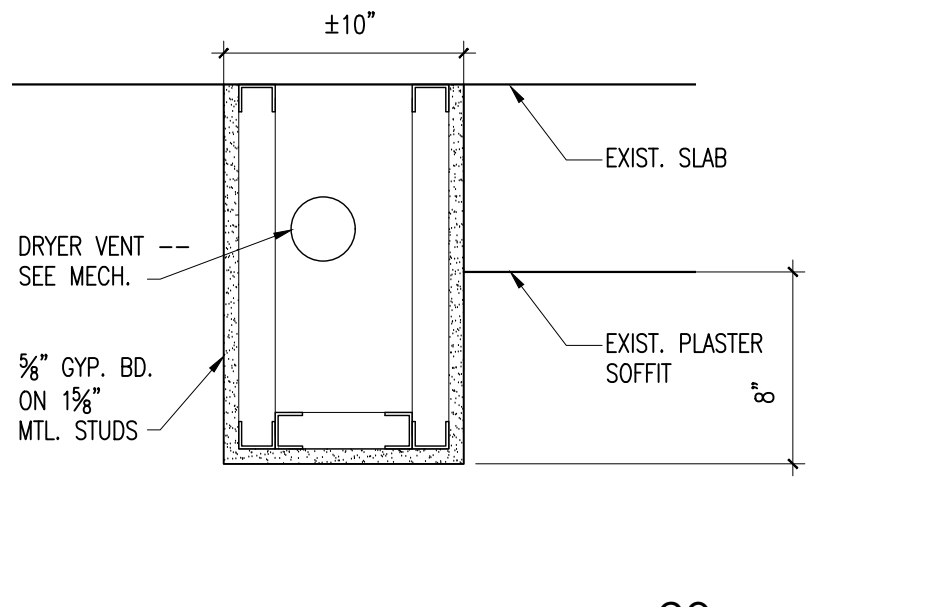
Detail 17 1"



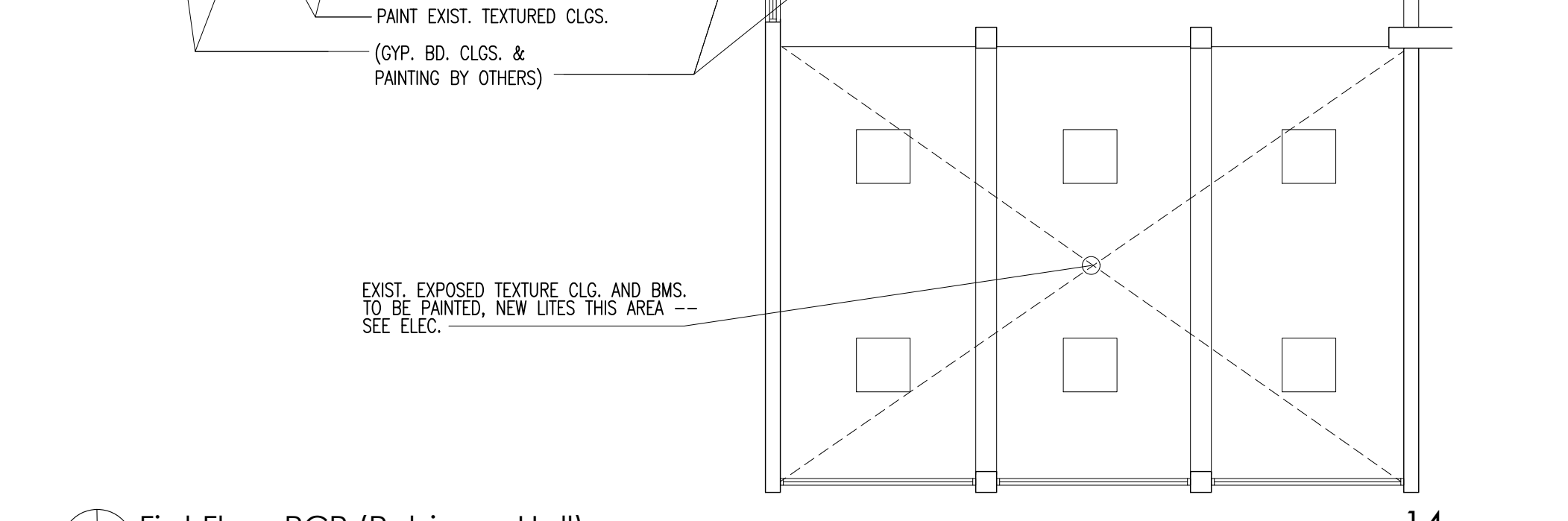
Detail 18 1"



Detail 19 1"

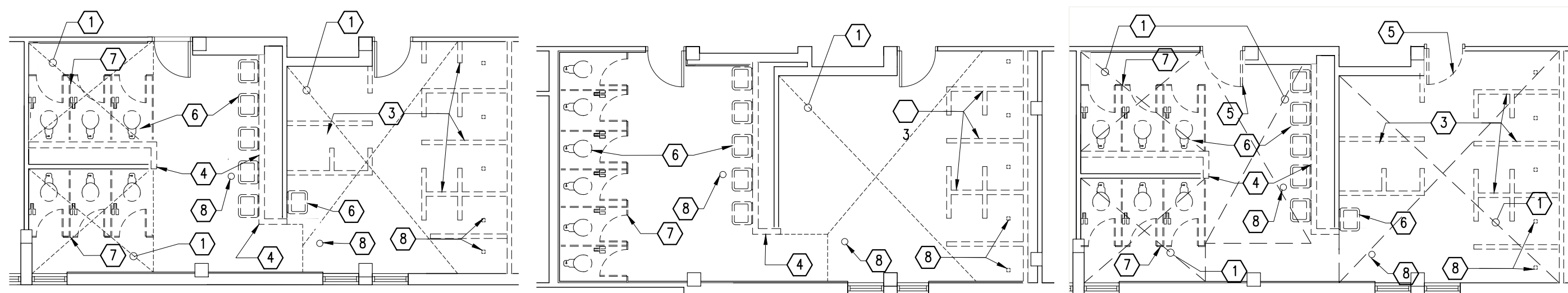


Detail 20 1 1/2"

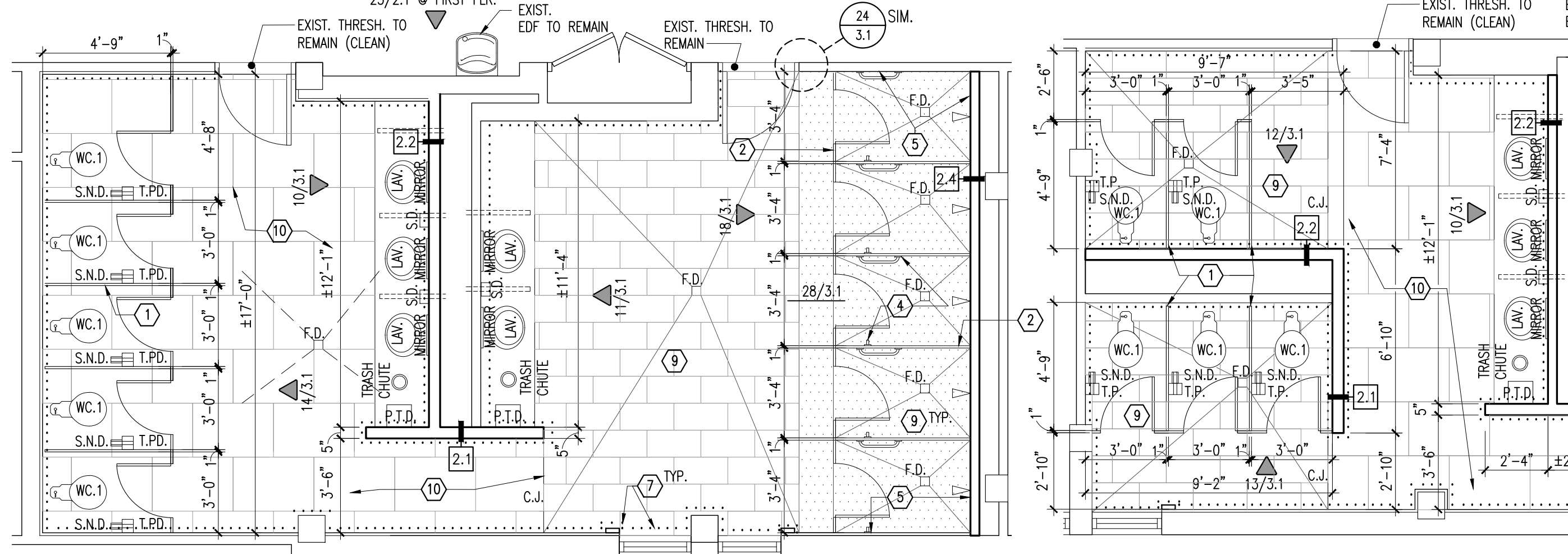


First Floor RCP (Robinson Hall) 14 1/4"

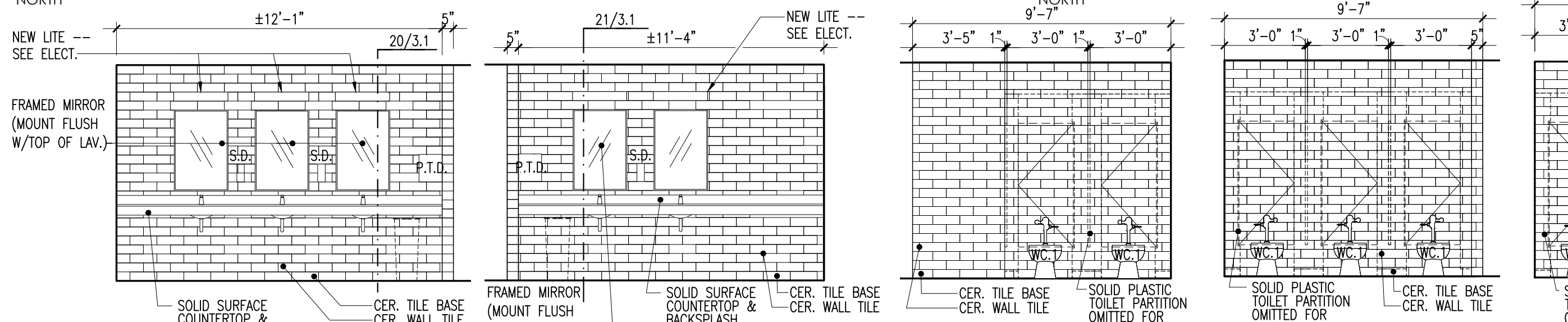




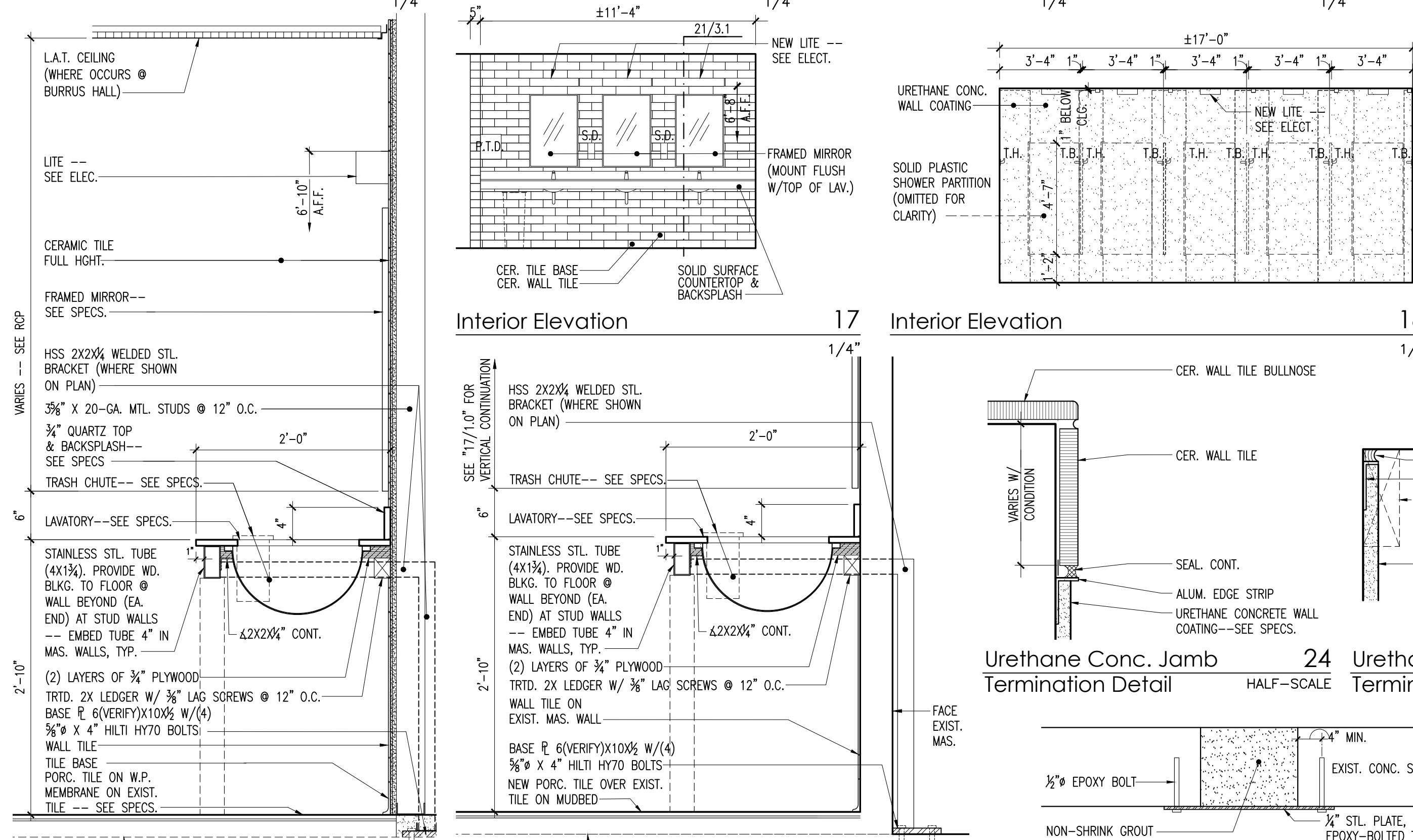
1/8" NORTH
Typ. Enlarged Demolition Plan East Wing (Robinson)
1/8" NORTH
Typ. Enlarged Demolition Plan West Wing (Robinson)
1/8" NORTH
ADA Enlarged Demolition Plan First Floor East Wing (Robinson)
1/8" NORTH



1/4" NORTH
Typ. Enlarged Restroom Plan All Floors West Wing (Robinson)
1/4" NORTH
Typ. Enlarged Restroom Plan Second and Third Floor East Wing (Robinson)



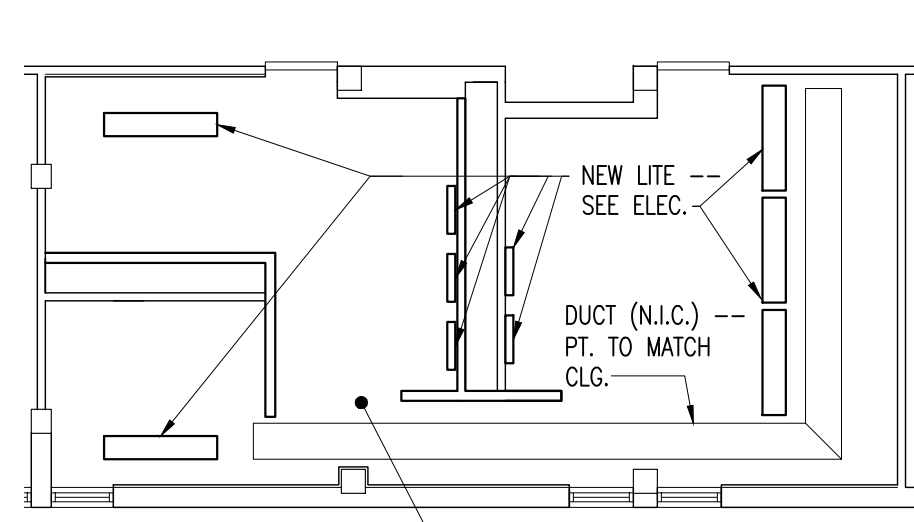
1/4" NORTH
Typ. Enlarged Restroom Plan All Floors West Wing (Robinson)
1/4" NORTH
Typ. Enlarged Restroom Plan Second and Third Floor East Wing (Robinson)



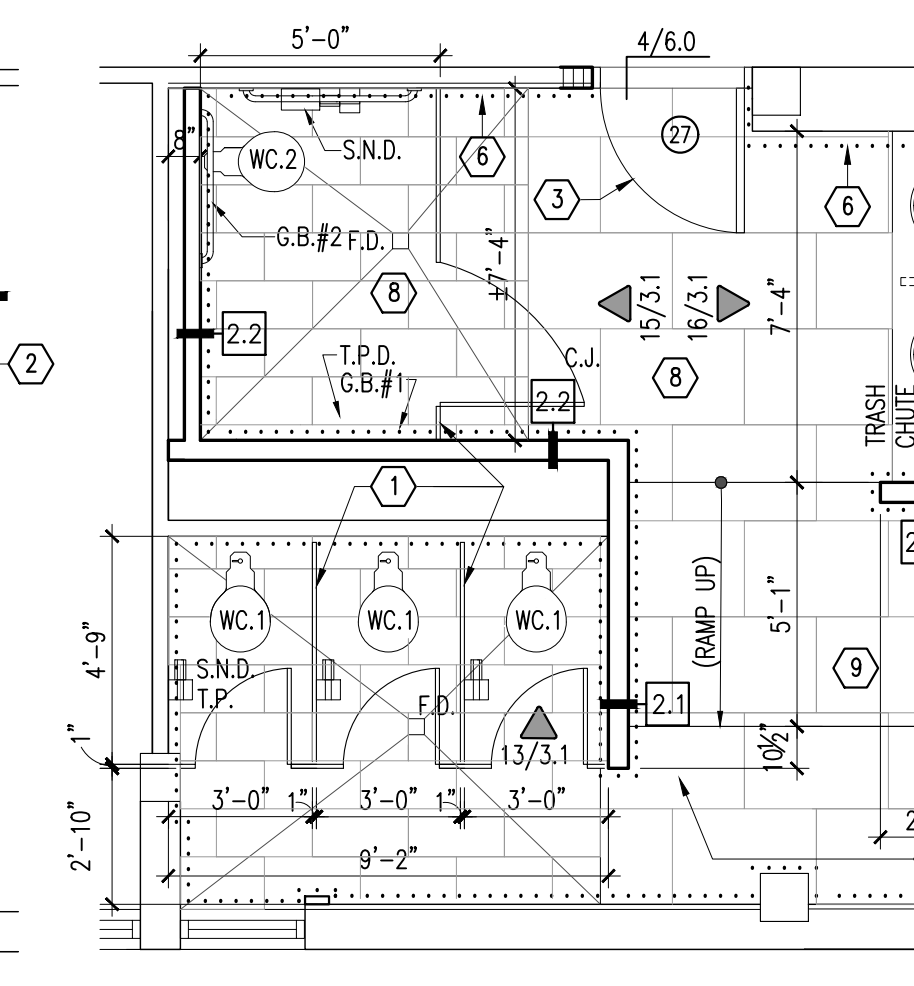
1/4" NORTH
Typ. Lavatory Counter at Stud Walls
1/4" NORTH
Typ. Lavatory Counter at Exist. Mas. Walls

General Restroom Demolition Notes

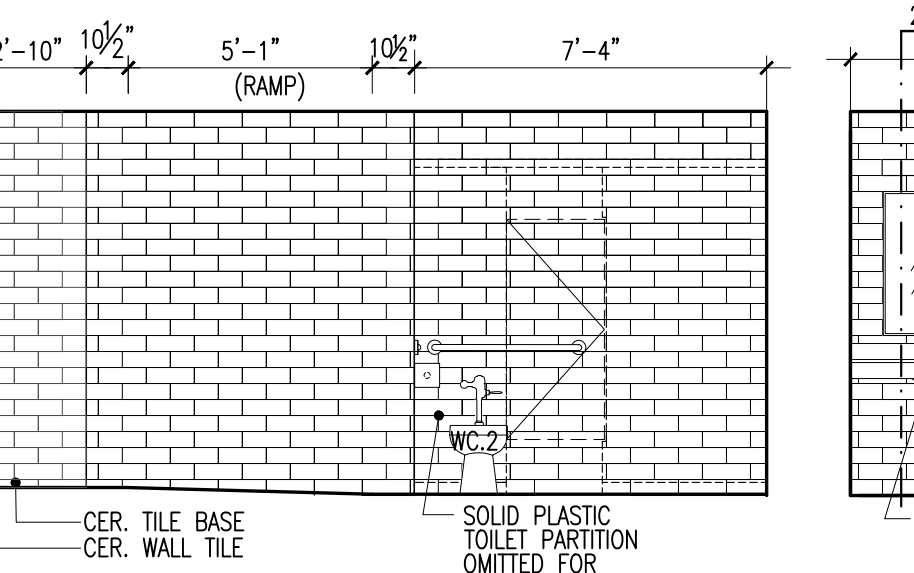
- Remove all millwork, lavatories, waterclosets, floor drains, shower plumbing. (See Mech.), stainless stl. toilet components, accessories, etc.
 - Remove (1) wall of plumbing chases to allow for re-plumbing.
- Keyed Demolition Notes**
- Sawcut/remove exist. tile & mudbed to bare slab.
 - Remove epoxy floor/mudbeds to bare slab.
 - Remove exist. masonry shower partitions, incl. raised conc. mudbed shower floors, curbs, etc.
 - Remove exist. masonry partition.
 - Remove exist. door/frame.
 - Remove exist. lavatories.
 - Remove exist. plumbing fixtures (incl. drains) --- see Mech.
 - Remove exist. floor drain.



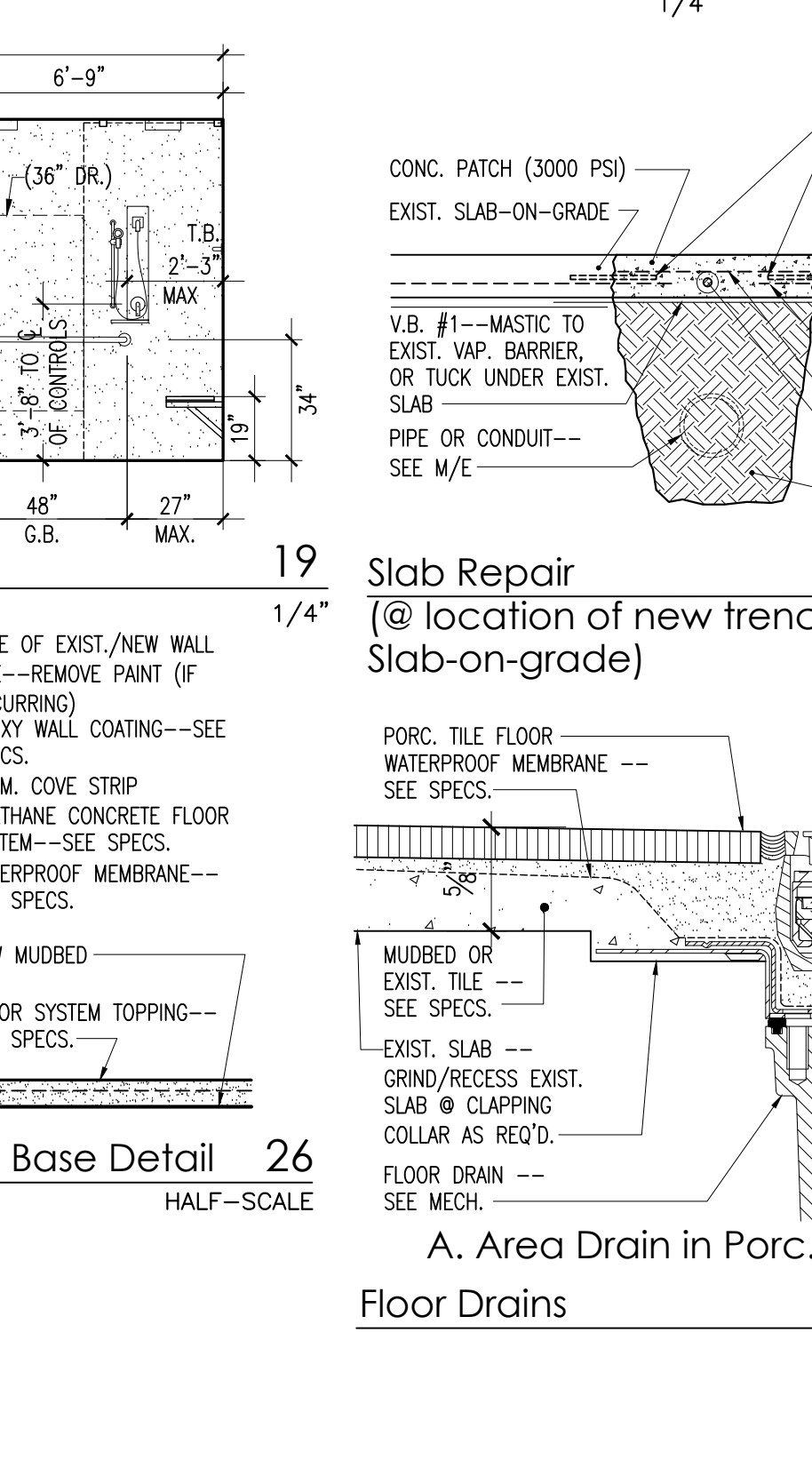
1/8" NORTH
Typ. Enlarged RCP East Wing (Robinson)



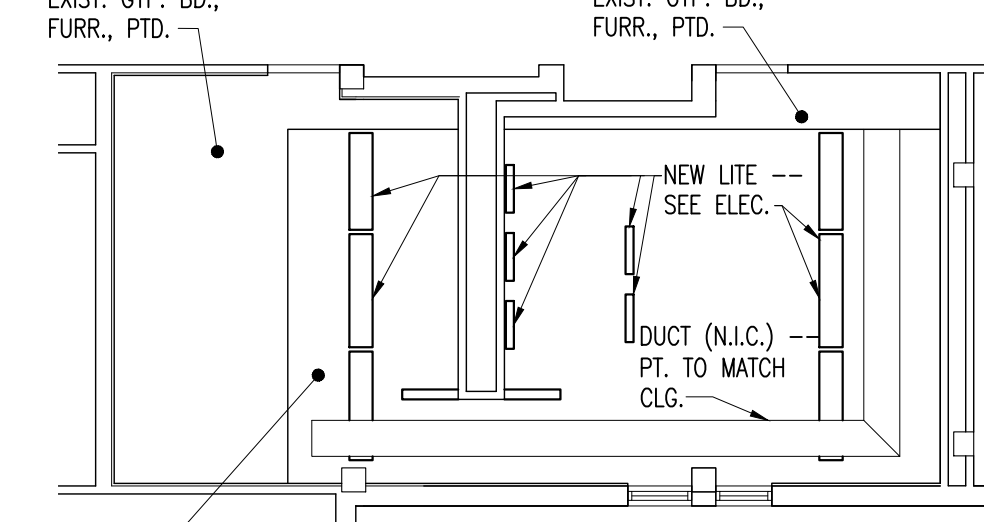
1/8" NORTH
Typ. Enlarged RCP West Wing (Robinson)



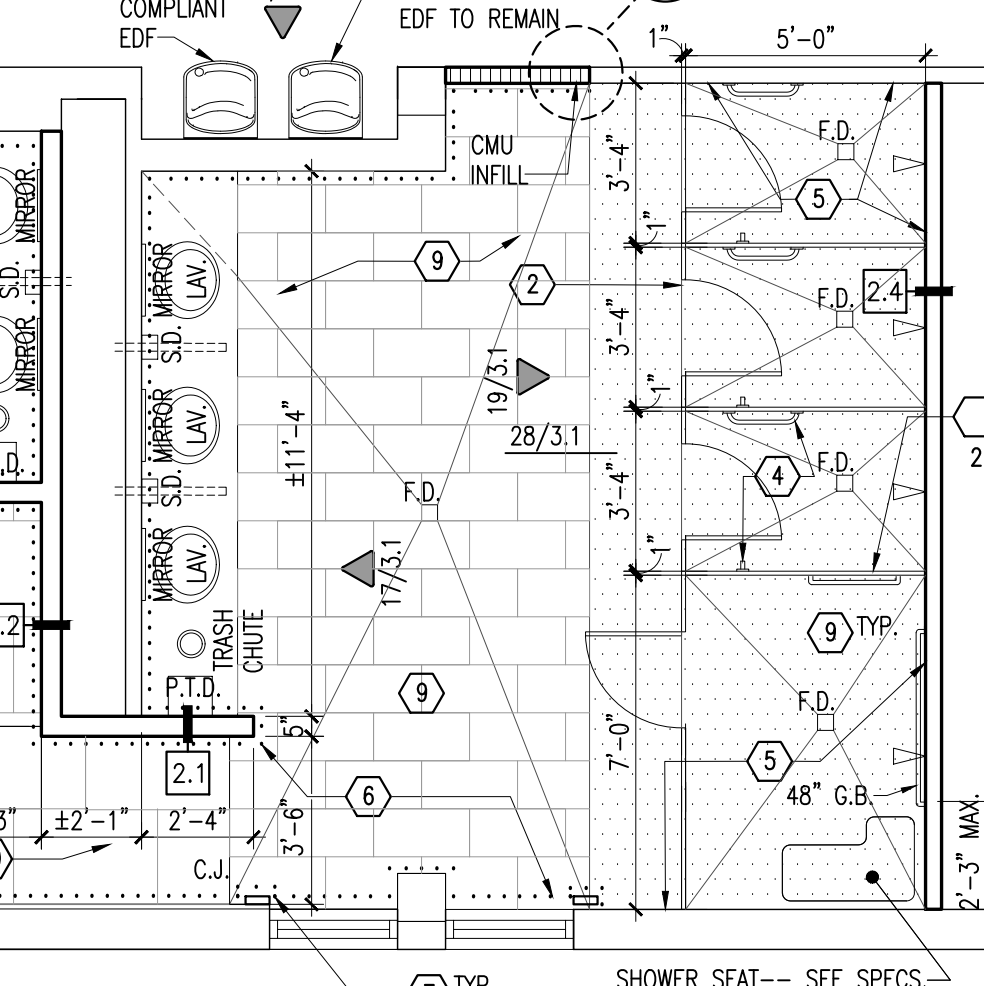
1/4" NORTH
Enlarged ADA Plan First Floor East Wing (Robinson)



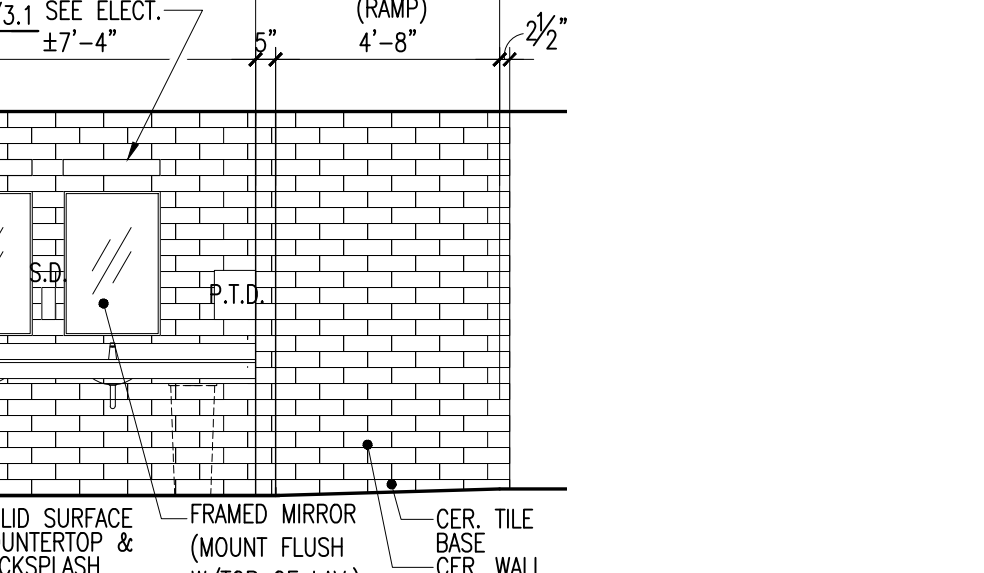
1/4" NORTH
Slab Repair
1/4" NORTH
Typ. Hard Tile Control Joint



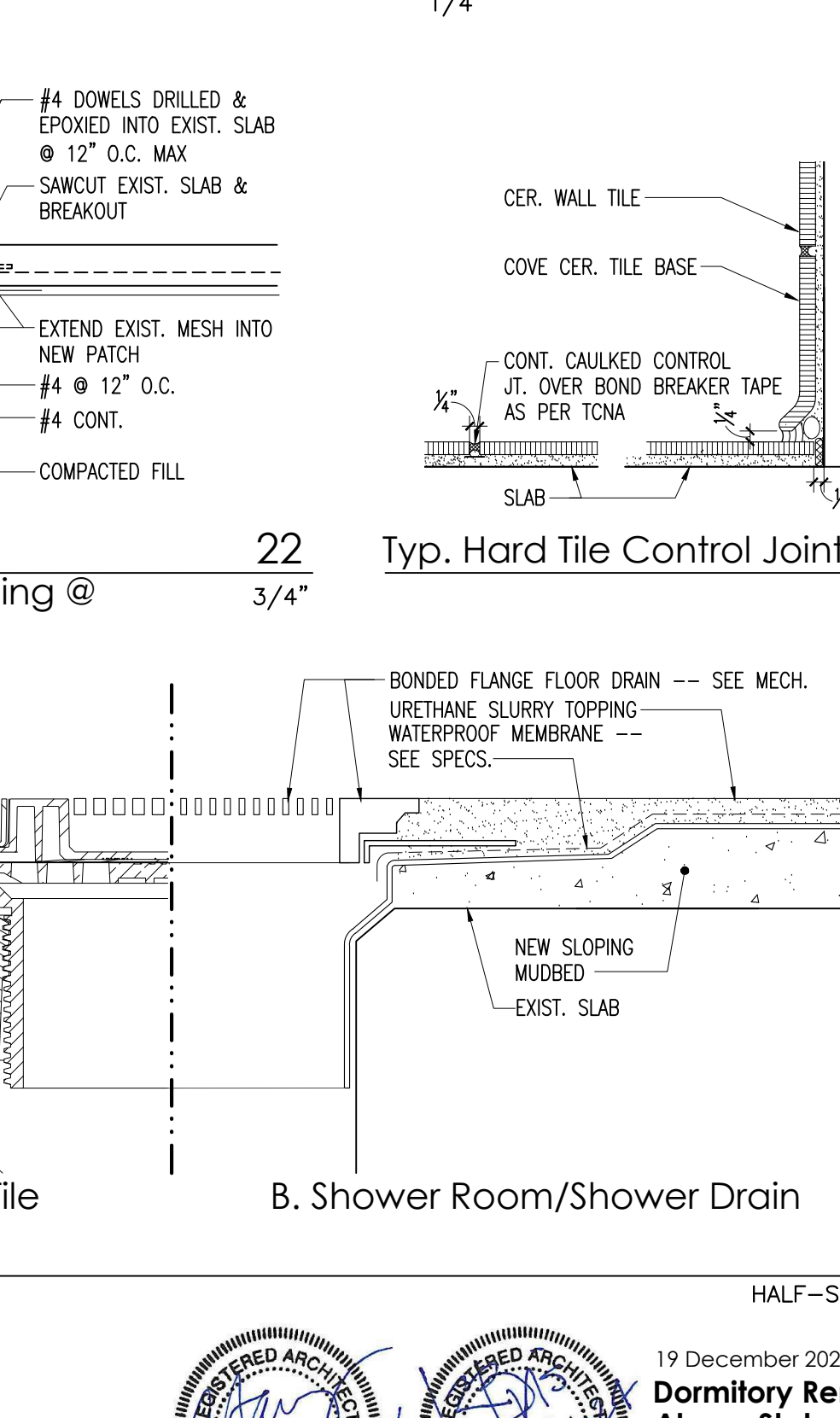
1/8" NORTH
Typ. Enlarged RCP East Wing (Robinson)



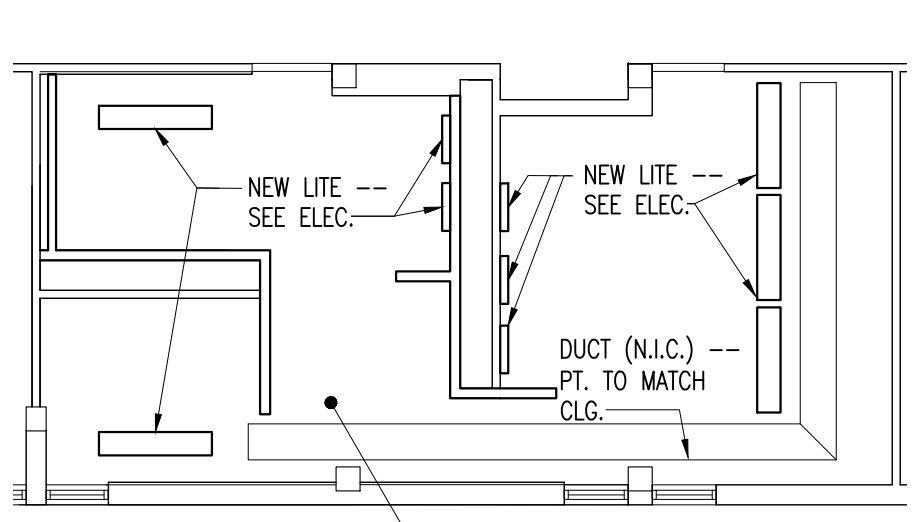
1/8" NORTH
Typ. Enlarged RCP West Wing (Robinson)



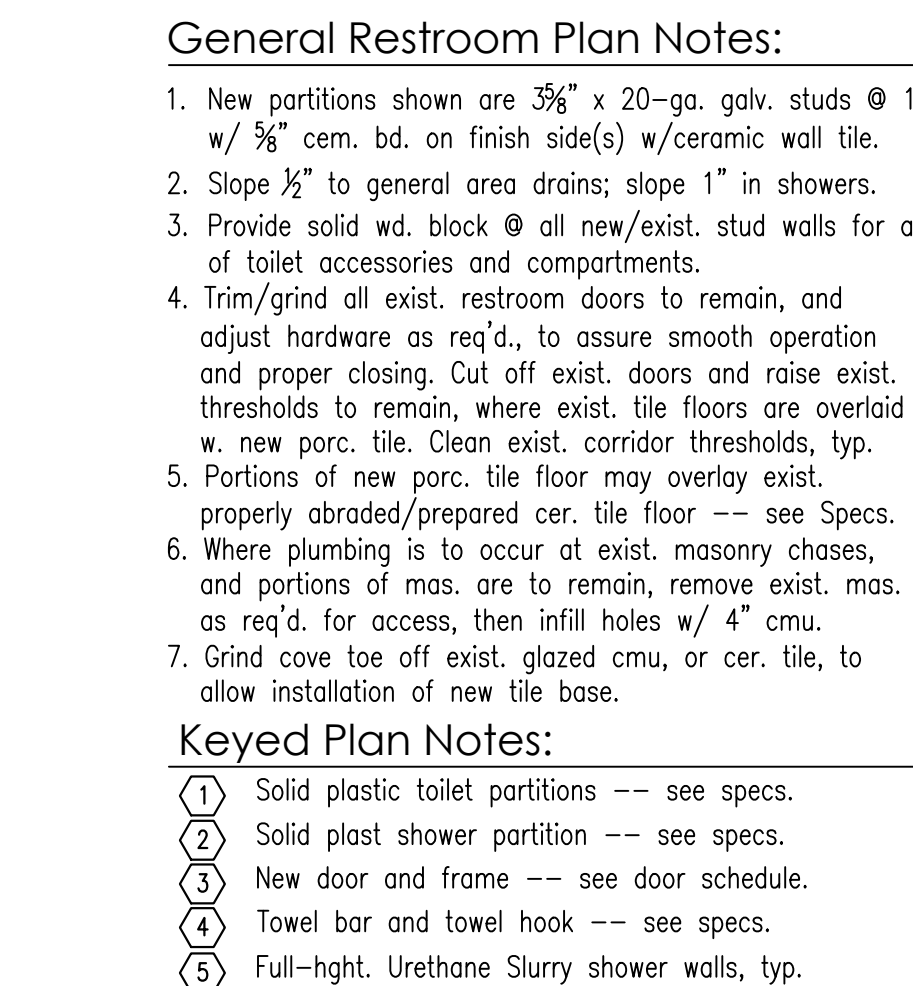
1/4" NORTH
Enlarged ADA Plan First Floor East Wing (Robinson)



1/4" NORTH
Slab Repair
1/4" NORTH
Typ. Hard Tile Control Joint



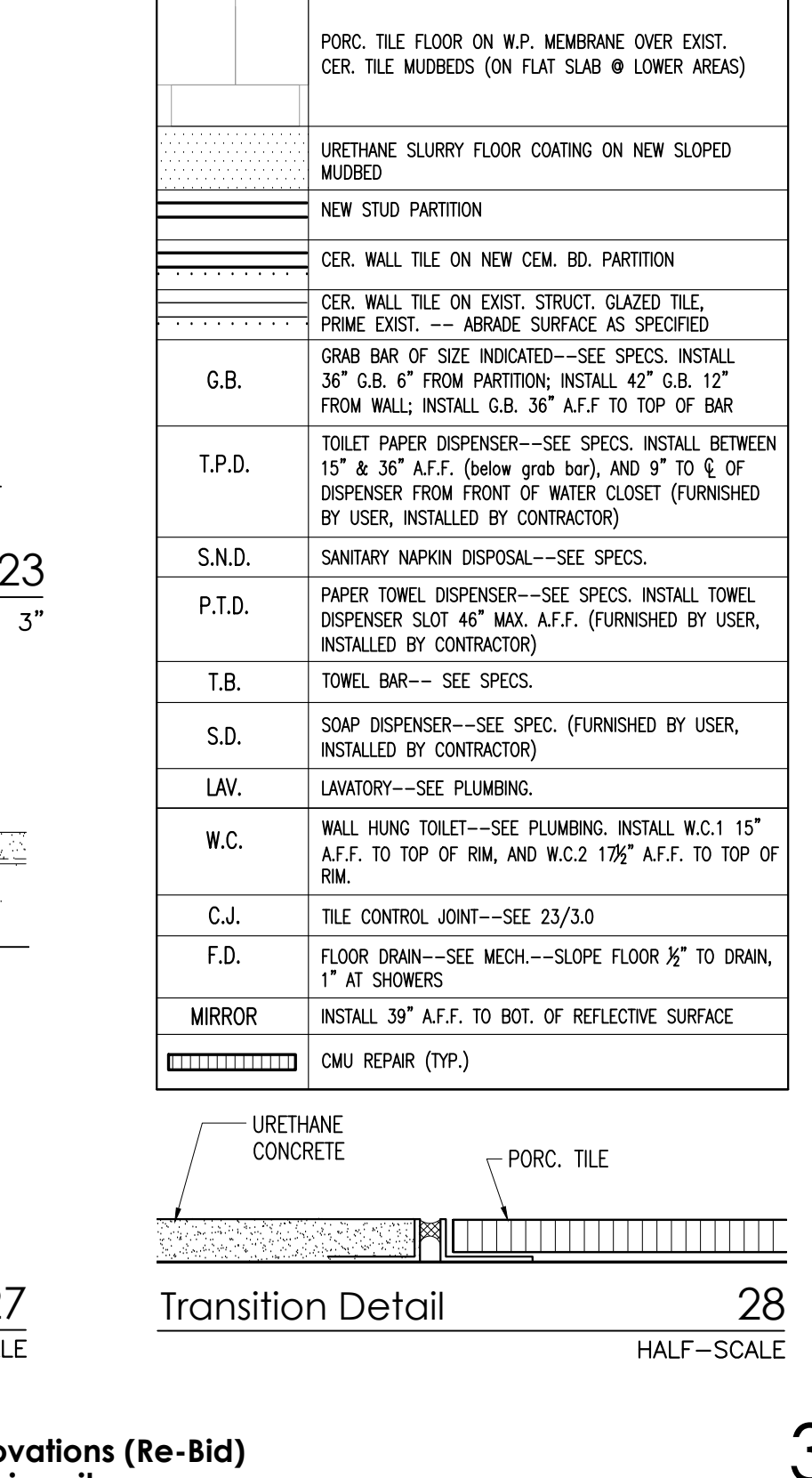
1/8" NORTH
Typ. Enlarged RCP East Wing (Robinson)



1/8" NORTH
Typ. Enlarged RCP West Wing (Robinson)



1/4" NORTH
Enlarged ADA Plan First Floor East Wing (Robinson)



1/4" NORTH
Slab Repair
1/4" NORTH
Typ. Hard Tile Control Joint

General Restroom Plan Notes:

- New partitions shown are 3/8" x 20-ga. galv. studs @ 12" o.c. w/ 3/8" cem. bd. on finish side(s) w/ceramic wall tile.
- Slope 1/2" to general area drains; slope 1" in showers.
- Provide solid wd. block @ all new/exist. stud walls for attachment of toilet accessories and compartments.
- Trim/grind all exist. restroom doors to remain, and adjust hardware as req'd., to assure smooth operation and proper closing. Cut off exist. doors and raise exist. thresholds to remain, where exist. tile floors are overlaid w. new porc. tile. Clean exist. corridor thresholds, typ. properly abraded/prepared cer. tile floor -- see Specs.
- Where plumbing is to occur at exist. masonry chases, and portions of mas. are to remain, remove exist. mas. as req'd. for access, then infill holes w/ 4" cmu.
- Grind cove toe off exist. glazed cmu, or cer. tile, to allow installation of new tile base.

Keyed Plan Notes:

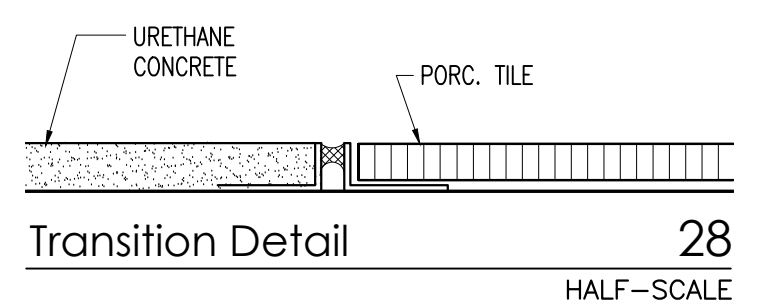
- Solid plastic toilet partitions --- see specs.
- Solid plast shower partition --- see specs.
- New door and frame --- see door schedule.
- Towel bar and towel hook --- see specs.
- Full-hgt. Urethane Slurry shower walls, typ.
- Provide full-hgt. cer. base @ upper level, @ lower level provide full-hgt. base, then cut course, then std. coursing above.
- Turn cer. wall tile back to new window --- provide bullnose tile around edges.
- Porc. tile on featheredge patch this area --- slope to drain.
- New sloped mudbed.
- Porc. tile floor on W.P. membrane over exist. tile (mechanically remove exist. coatings from exist. tile).

Toilet Plan Notes

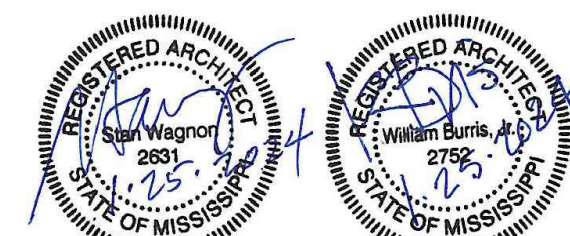
- At all toilets, G.C. shall provide a complete plan/partition layout on floor for Architect's approval before plumbing, trenching or wall construction begins.
- Field verify w/Architect, in a Pre-Installation Conference, all toilet accessory mounting heights, prior to installation.
- At all new/exist. stud walls, provide solid wd. block, for all toilet accessories; repair gyp. bd. @ exist. finishes and paint.

Restroom Plan Legend

	PORC. TILE FLOOR ON W.P. MEMBRANE OVER EXIST. CER. TILE MUDBEDS (ON FLAT SLAB @ LOWER AREAS)
	URETHANE SLURRY FLOOR COATING ON NEW SLOPED MUDBED
	NEW STUD PARTITION
	CER. WALL TILE ON NEW CEM. BD. PARTITION
	CER. WALL TILE ON EXIST. STRUCT. GLAZED TILE PRIME EXIST. --- ABRADE SURFACE & SPEIFIED
G.B.	GRAB BAR OF SIZE INDICATED---SEE SPECS. INSTALL 36" G.B. 6" FROM PARTITION; INSTALL 42" G.B. 12" FROM WALL; INSTALL G.B. 36" A.F.F. TO TOP OF BAR
T.P.D.	TOILET PAPER DISPENSER---SEE SPECS. INSTALL BETWEEN 15" & 36" A.F.F. (below grab bar), AND 9" TO E OF DISPENSER FROM FRONT OF WATER CLOSET (FURNISHED BY USER, INSTALLED BY CONTRACTOR)
S.N.D.	SANITARY NAPKIN DISPOSAL---SEE SPECS.
P.T.D.	PAPER TOWEL DISPENSER---SEE SPECS. INSTALL TOWEL DISPENSER SLOT 48" MAX. A.F.F. (FURNISHED BY USER, INSTALLED BY CONTRACTOR)
T.B.	TOWEL BAR---SEE SPECS.
S.D.	SOAP DISPENSER---SEE SPEC. (FURNISHED BY USER, INSTALLED BY CONTRACTOR)
LAV.	LAVATORY---SEE PLUMBING.
W.C.	WALL HUNG TOILET---SEE PLUMBING. INSTALL W.C.1 15" A.F.F. TO TOP OF RIM, AND W.C.2 12 1/2" A.F.F. TO TOP OF RIM.
C.J.	TILE CONTROL JOINT---SEE 23/3.0
F.D.	FLOOR DRAIN---SEE MECH.---SLOPE FLOOR 1/2" TO DRAIN, 1" AT SHOWERS
MIRROR	INSTALL 39" A.F.F. TO BOT. OF REFLECTIVE SURFACE
	CMU REPAIR (TYP.)



1/4" NORTH
Transition Detail



19 December 2023
Dormitory Renovations (Re-Bid)
Alcorn State University
(Iorman, Mississippi)
GS# 101-328
BURRIS/WAGNON ARCHITECTS, P.A.
5901 EAST WOODROW WILSON AVENUE JACKSON MS 39216 PH 6019697543 FAX 6019699374

2. Install new relieving *is* w/flushing where shown.
3. Install new door/window lintels w/flush, where shown.
4. Replace all windows--- see schedule.
4. Repair/infill exist. brick where shown.
5. Clean all brick/concrete --- see Specs.
6. Install expansion seals & sealants @ all exist. brick control joints
7. Salvage all brick removed from the building (at relieving angle repairs, etc.), class it as re-use for foundation work, as directed. See legend below for locations of where new accent brick will be used @ relieving L repairs.
8. Prep/prime/paint all new, & exist. window and door lintels to remain.
9. Paint all exist. exterior metal doors/frames.
10. Note: Exist. stl. windows are ACM and are to be abated as such (see Section 02 82 00). If new windows are not installed as exist. windows are being removed, Contractor shall install opening protection until new windows are installed.
- Plastic/plexi may be used for very short durations, if over 1 week, install watertight plywood or OSB until new windows are installed.
11. Clean all brick, and pld. concrete, facades at Base Bid--- see specs.
12. See Floor Plans for add'l Base Bid/Alt #1 delineation

- 1 Install Emseal Expansion seal @ exist. wide ($\pm 1"$) control joints.
- 2 Install full-hght. sealant joint.
- 3 New stl. guardrails/handrails, ptd. (also prep/prime/pt. exist. guardrails to remain)

NOTE: RELIEVING $\angle$ REPAIR DETAIL "7/4.0" CONTINUES
AROUND ALL SIDES OF FREESTANDING STAIR ENDWALL

LEAD FLASHING ROLLED

NOTE: EXIST. MODIFIED BITUMINOUS ROOF IS NEW, AND UNDER FIRESTONE WARRANTY.
ALL NEW PENETRATIONS (VTR'S, DUCTS, ETC.) SHALL BE MADE BY AN AUTHORIZED
FIRESTONE INSTALLER UTILIZING FIRESTONE MATERIALS, AND SHALL BE INCLUDED
IN THE EXISTING WARRANTY(IES)

100

NEW BRICK VENEER
(@ SHELF 4)

19 December 2023

Dormitory Renovation
Alcorn State University
(Tomball, Mississippi)

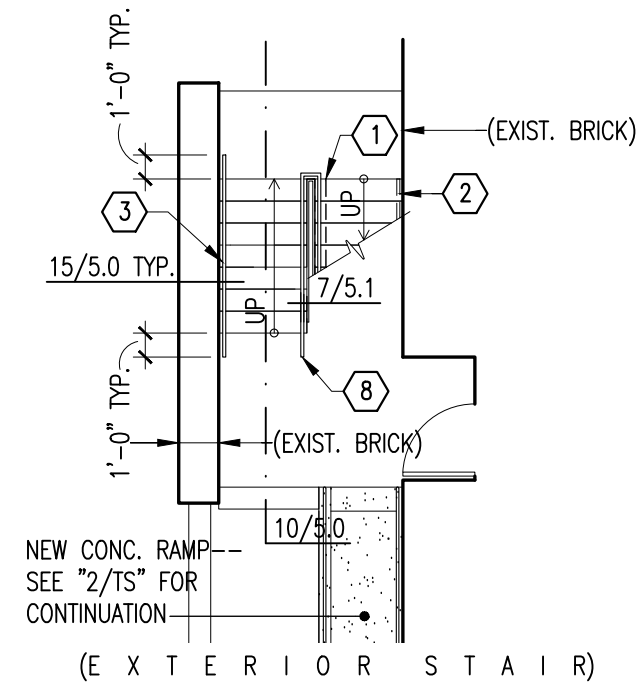
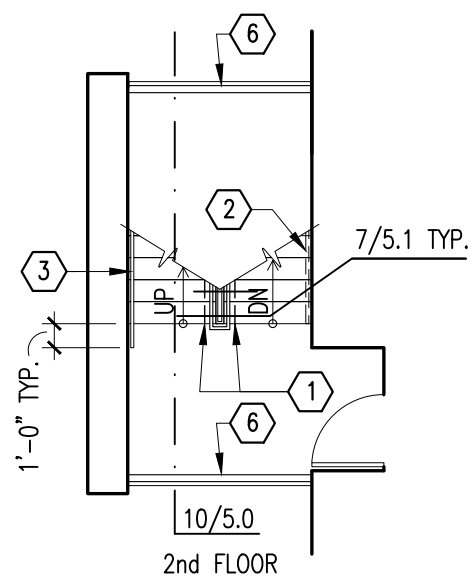
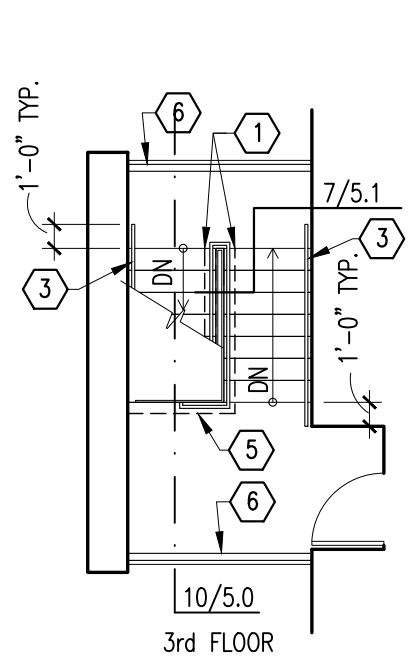
ations (Re-Bid) 4.0

Robinson Stairwell Finish Notes

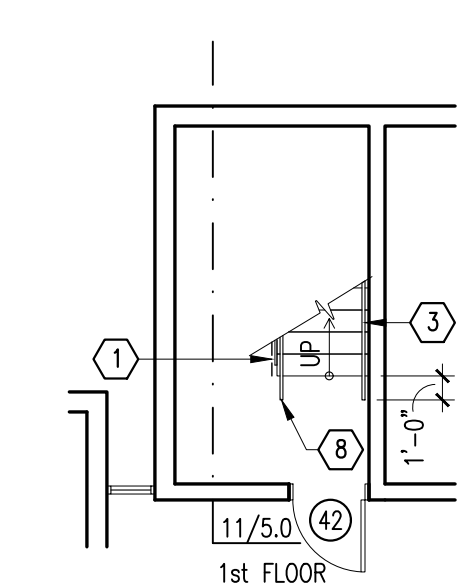
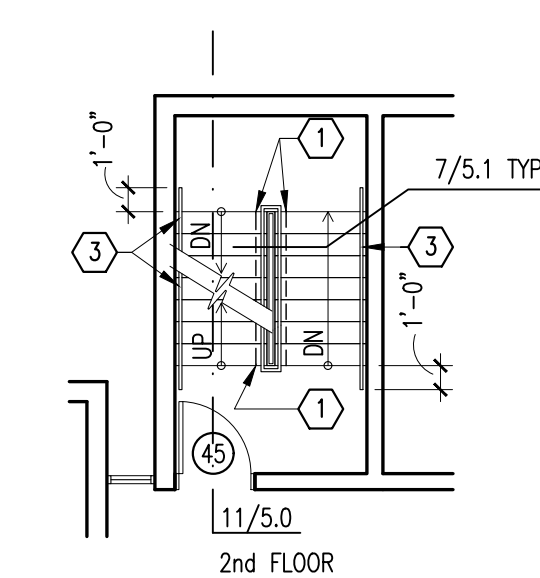
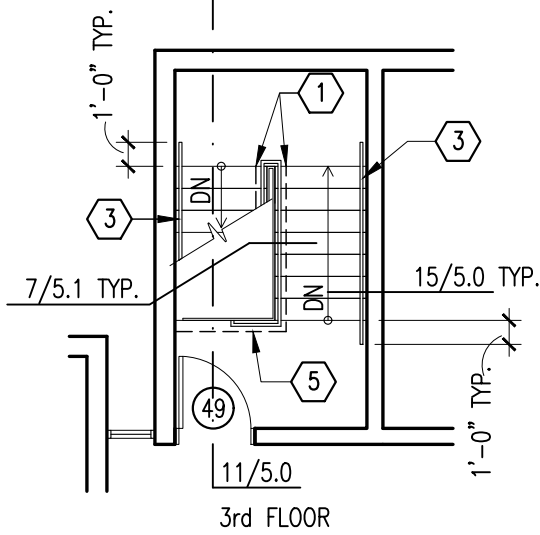
1. Paint all walls epoxy (note that stair #1 is exterior, and brick veneer shall not be painted-- remove graffiti from exist. brick).
2. Paint conc. ceilings & underside stairs/landings.
3. Coat stairs/landings w/conc. pt. specified.
4. Paint new/exist. stl. railings, & adjacent hol. mtl. doors/frames.

Keyed Stair Notes

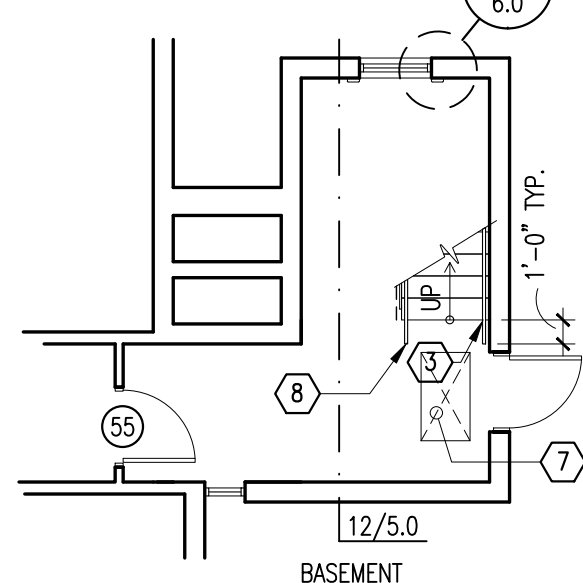
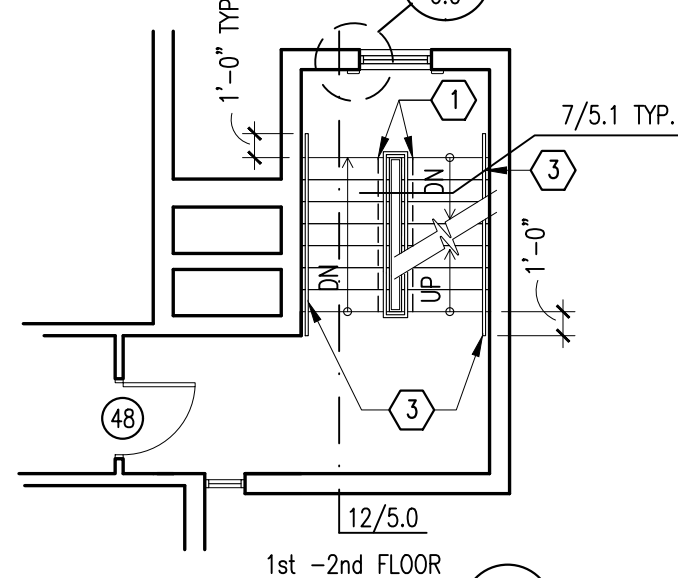
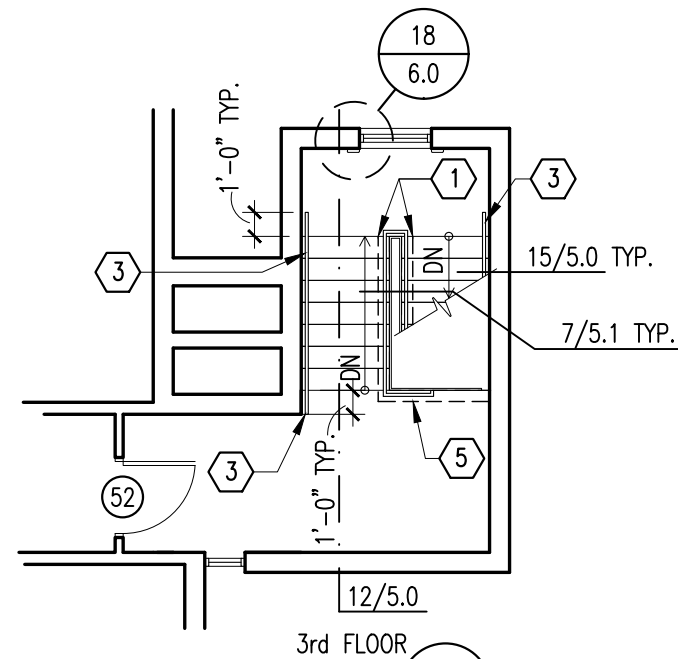
- 1 REMOVE EXIST. RAILINGS & INSTALL NEW GUARDRAILS/ORIPRAILS
- 2 REMOVE EXIST. HANDRAILS, REPLACE WITH HANDRAILS PER 15/5.0" & STAIR SECTIONS. PATCH, & PT. EXIST CMU WHERE MOUNTING IS REMOVED.
- 3 NEW WALL-MOUNT HANDRAIL PER 15/5.0"
- 4 REMOVE EXIST. RAILING, INSTALL NEW GUARDRAIL PER 2,4/5.1" (BURRUS)
- 5 REMOVE EXIST. RAILING, INSTALL NEW GUARDRAIL PER 6,7/5.1" (ROBINSON)
- 6 INSTALL NEW GUARDRAIL EXTENSIONS-- SEE 13/5.0"
- 7 INFILL EXIST. RECESSED SLAB W/CONC. REPAIR MATERIAL (SEE SPECS.)
- 8 RETURN GRIPRAIL TO LANDING W/POST
- 9 RETURN GRIPRAIL 12" AROUND CORNER & TO WALL PER 15/5.0"



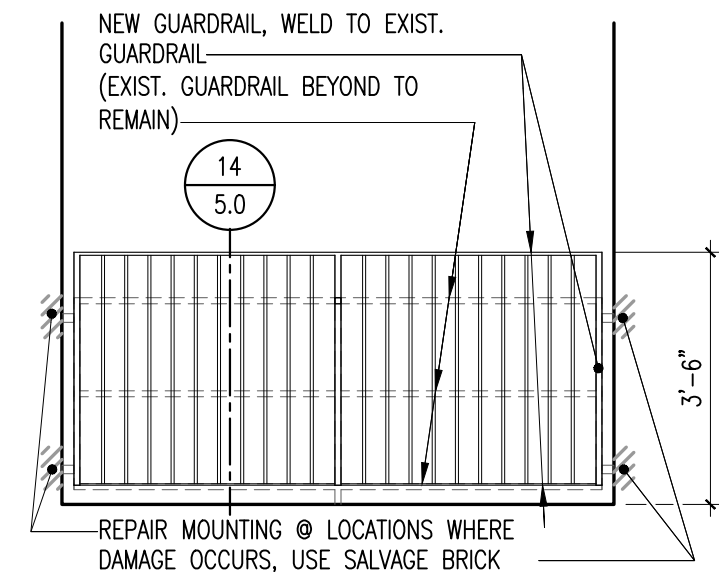
Robinson Stair #1 Floor Plans 4 1/8"



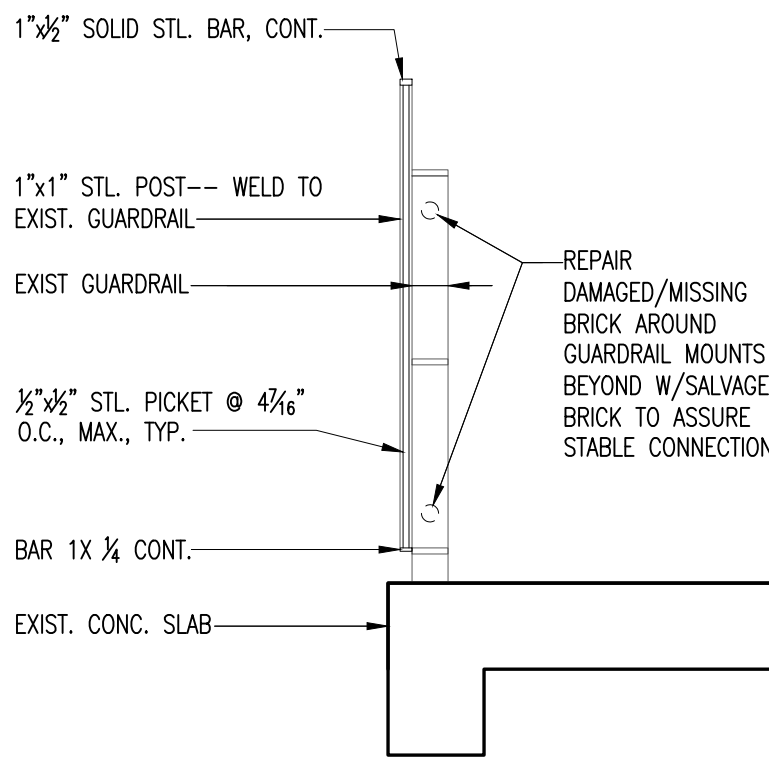
Robinson Stair #2 Floor Plans 5 1/8"



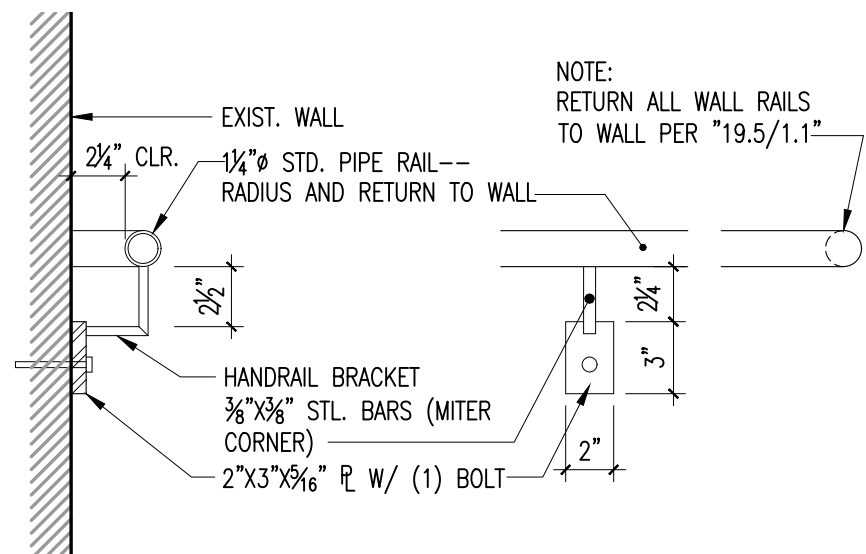
Robinson Stair #3 Floor Plans 6 1/8"



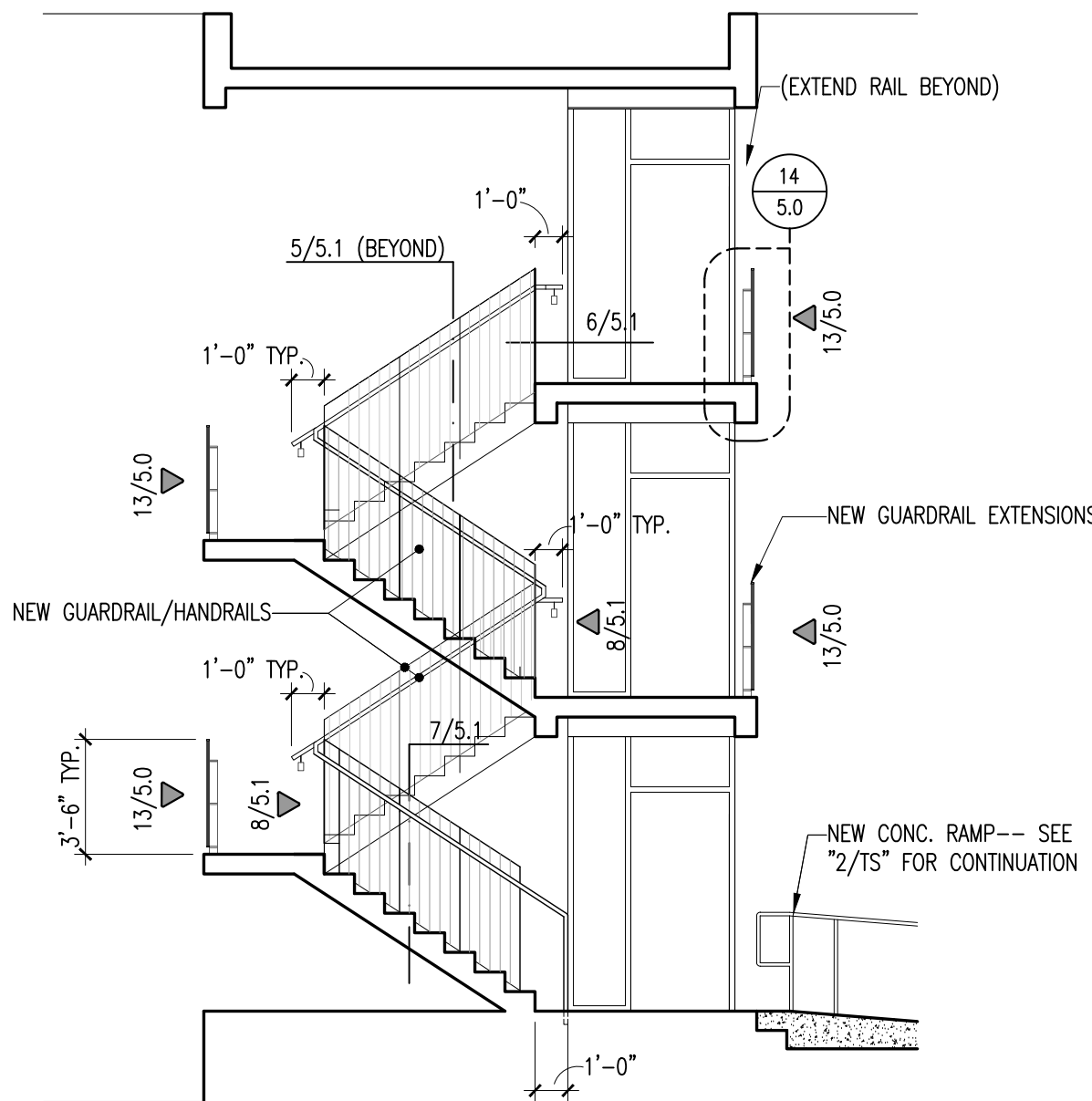
Guardrail Extension Elevation 13 3/8"



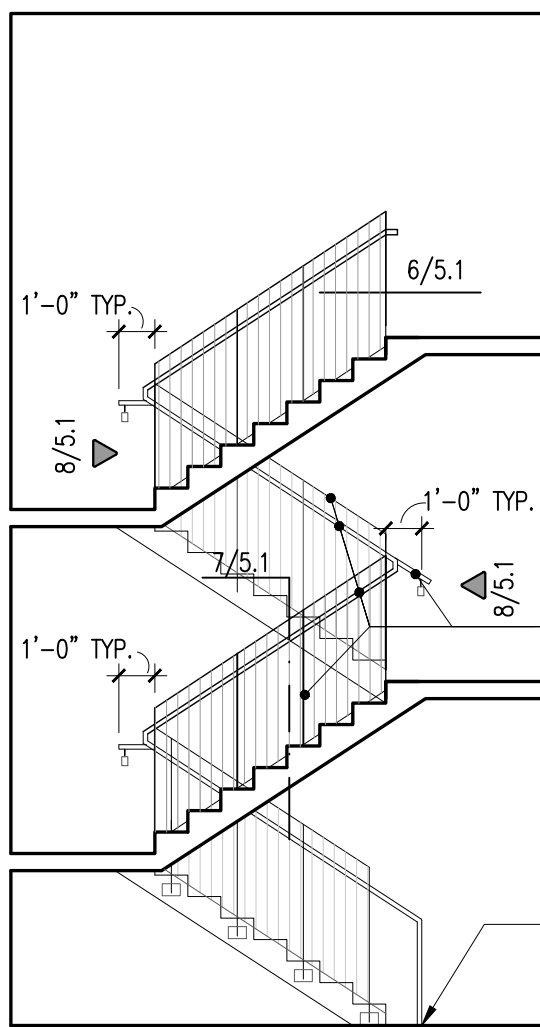
Guardrail Extension Section 14 3/4"



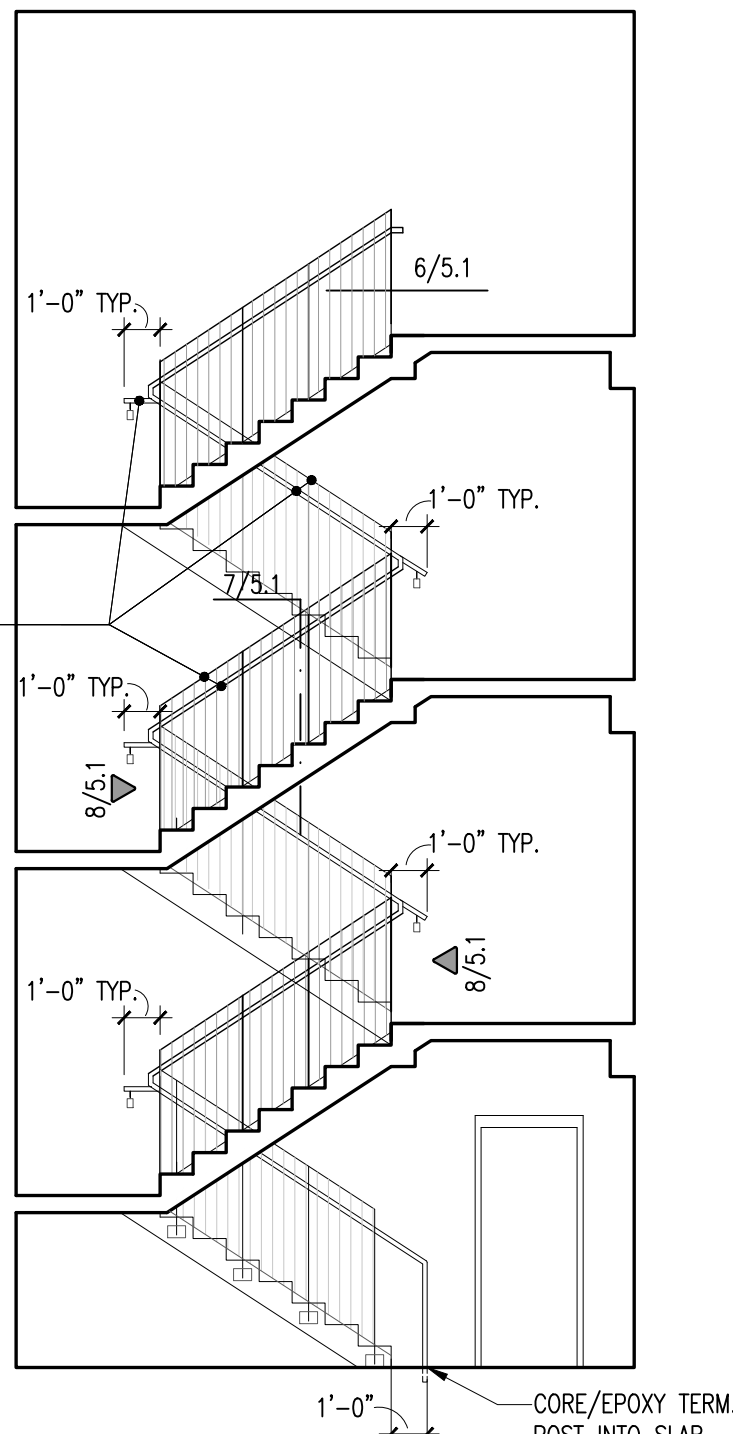
Typ. Wall Handrail Bracket Detail 15 1 1/2"



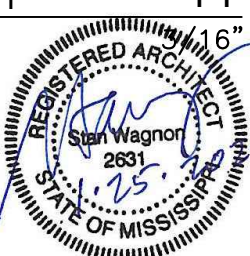
Robinson Stair #1 Floor Plans 10 1/8"



Robinson Stair #2 Section 11 6"



Robinson Stair #3 Section 12 3/16"



19 December 2023

Dormitory Renovations (Re-Bid)
Alcorn State University
(Iorman, mississippi)

GS# 101-328
BURRIS/WAGNON ARCHITECTS, P.A.
5001 EAST WOODROW WILSON AVENUE JACKSON MS 39216 PH 6019697543 FAX 6019699374

NOT USED

1
1 1/2"

NOT USED

4
1 1/2"

NOT USED

3
3/4"

NOT USED

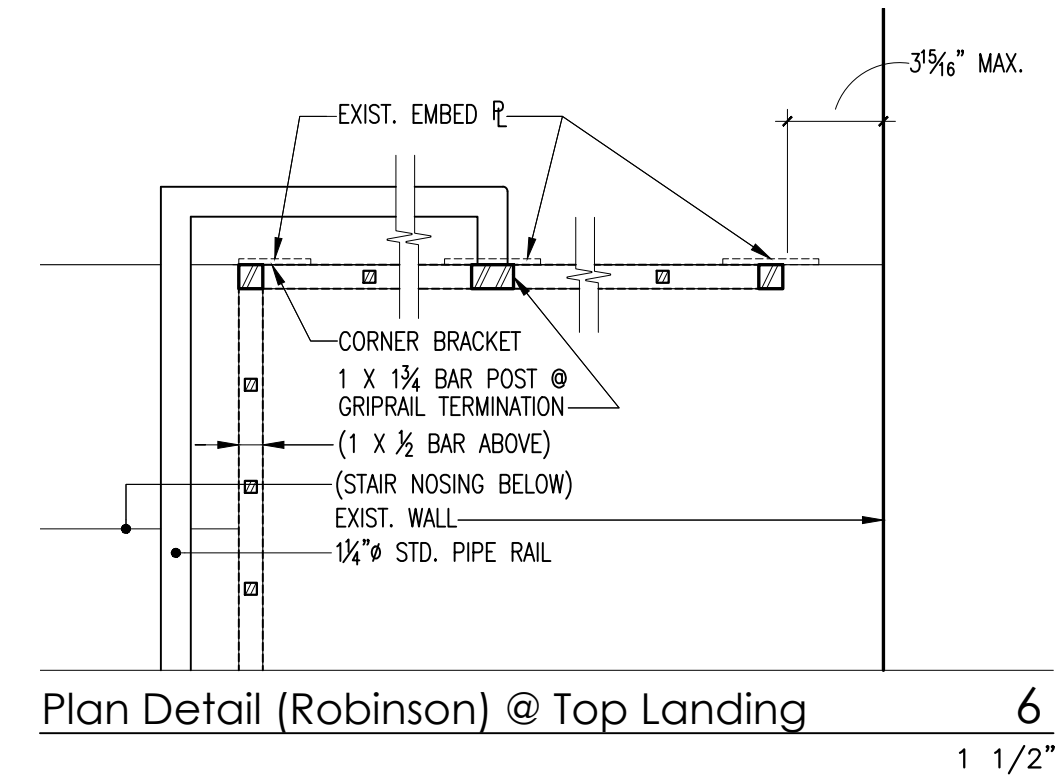
5
3/4"

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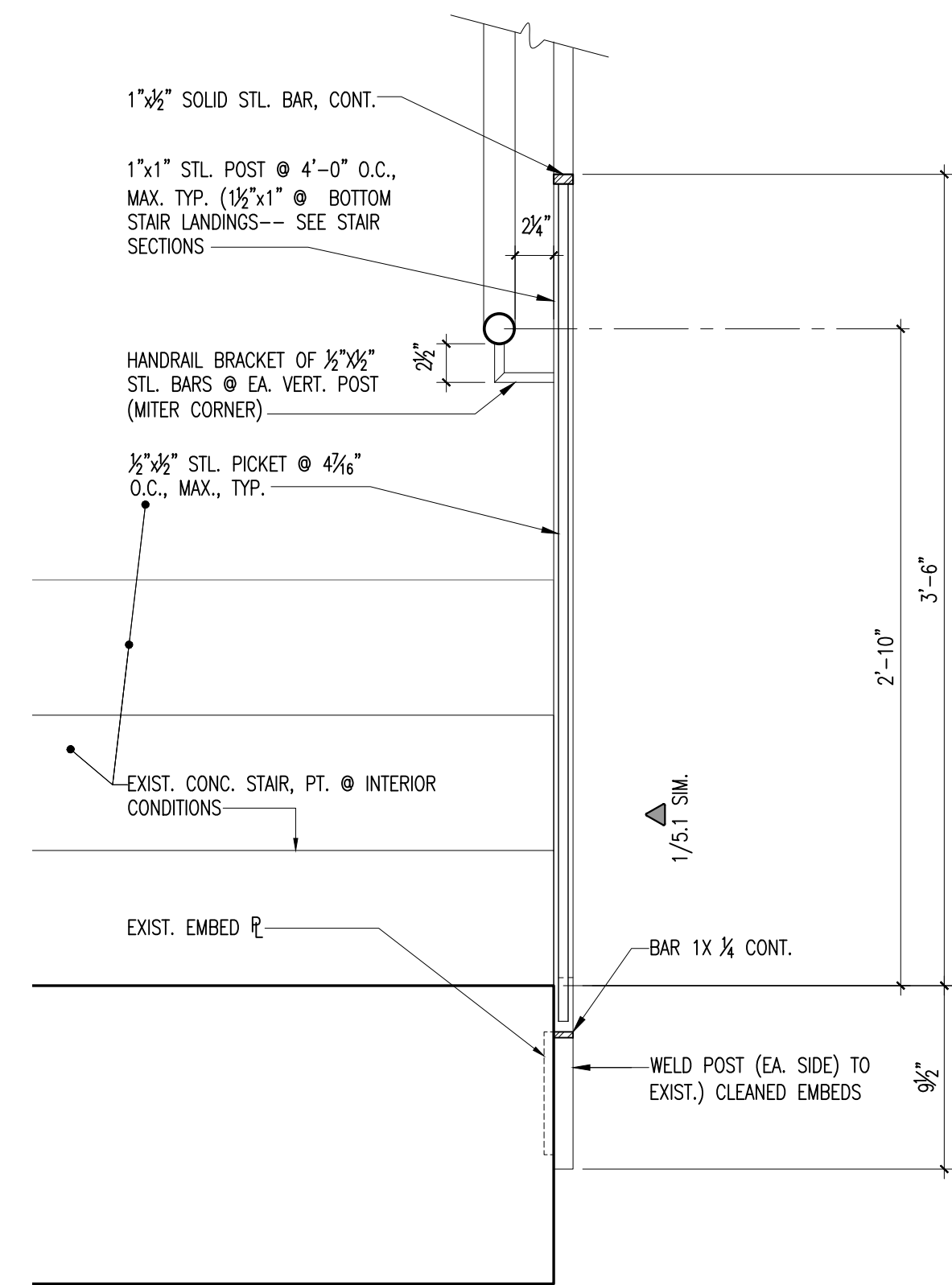
2
1 1/2"

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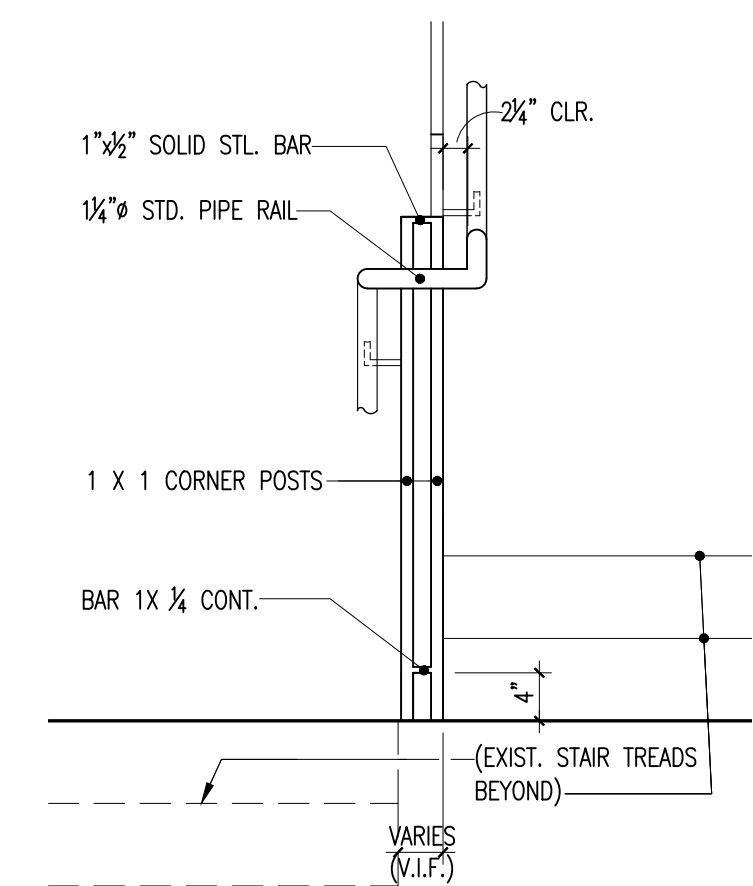
2.5
1 1/2"



Plan Detail (Robinson) @ Top Landing 6
1 1/2"



Typ. New Guardrail/Handrail Section (Robinson) 7
1 1/2"

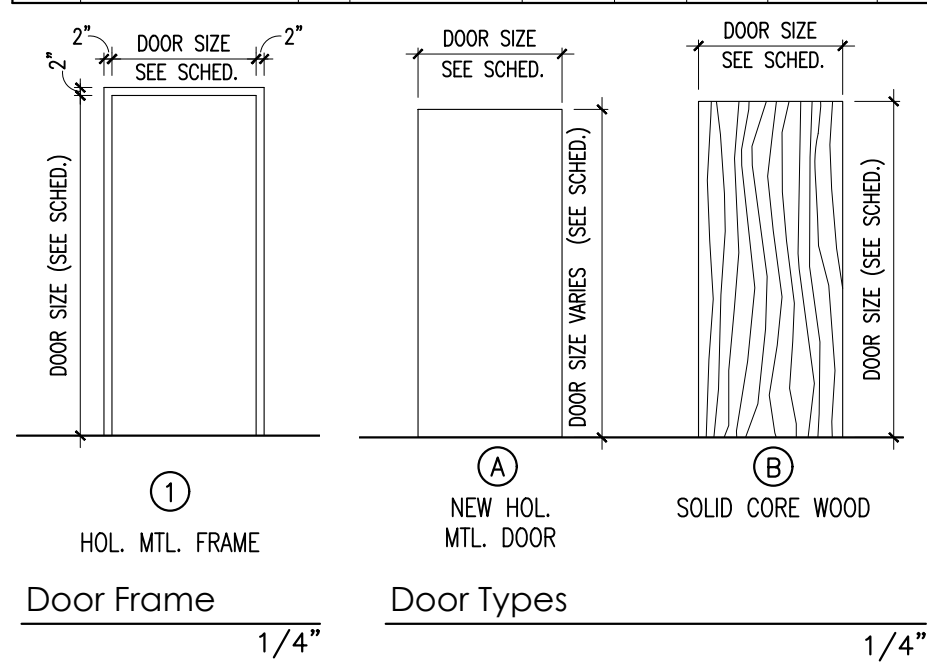


Guardrail/Handrail Elevation @ Typ. Landings (Robinson) 8
3/4"

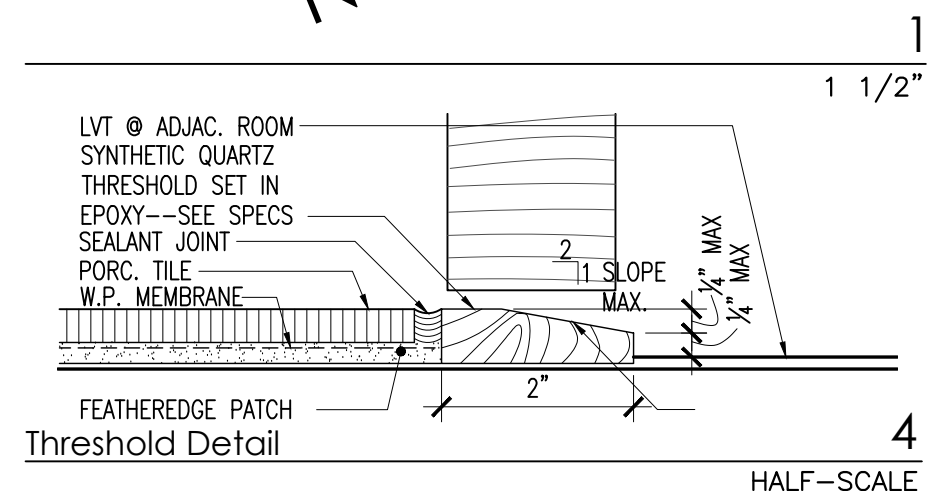


Door Schedule

Mark	Size	Door Rating (Door & Type)	Material	Head	Jamb	Threshold	Frame Type	Frame Depth	Remarks
01	NOT USED	-	-	-	-	-	-	-	-
02	NOT USED	-	-	-	-	-	-	-	-
2.1	NOT USED	-	-	-	-	-	-	-	-
2.2	NOT USED	-	-	-	-	-	-	-	-
2.3	NOT USED	-	-	-	-	-	-	-	-
2.4	NOT USED	-	-	-	-	-	-	-	-
2.5	NOT USED	-	-	-	-	-	-	-	-
2.6	NOT USED	-	-	-	-	-	-	-	-
03	NOT USED	-	-	-	-	-	-	-	-
04	NOT USED	-	-	-	-	-	-	-	-
05	NOT USED	-	-	-	-	-	-	-	-
06	NOT USED	-	-	-	-	-	-	-	-
07	NOT USED	-	-	-	-	-	-	-	-
08	NOT USED	-	-	-	-	-	-	-	-
09	NOT USED	-	-	-	-	-	-	-	-
10	NOT USED	-	-	-	-	-	-	-	-
11	NOT USED	-	-	-	-	-	-	-	-
12	NOT USED	-	-	-	-	-	-	-	-
13	NOT USED	-	-	-	-	-	-	-	-
14	NOT USED	-	-	-	-	-	-	-	-
15	NOT USED	-	-	-	-	-	-	-	-
16	NOT USED	-	-	-	-	-	-	-	-
17	NOT USED	-	-	-	-	-	-	-	-
18	NOT USED	-	-	-	-	-	-	-	-
19	NOT USED	-	-	-	-	-	-	-	-
20	NOT USED	-	-	-	-	-	-	-	-
21	NOT USED	-	-	-	-	-	-	-	-
22-26	NOT USED	-	-	-	-	-	-	-	-
27	3'0" x 6'8" x 1 1/2"	B	SCWD.	9/4.0	10/6.0	4/6.0	1	6 1/2"	
28	2'8" x 6'8" x 1 1/2"	B	SCWD.	11/4.0	12/4.0		1	5 3/4"	
29	3'0" x 6'8" x 1 1/2"	B	SCWD.	7/4.0	8/4.0		1	5 3/4"	
30	3'0" x 6'8" x 1 1/2"	B	SCWD.	7/6.0	8/6.0		1	5 3/4"	
31	(PR)3'0" x 6'8" x 1 1/2"	B	SCWD.	7/6.0	8/6.0		1	5 3/4"	
32	EXIST. DOOR & HARDWARE TO REMAIN*								*TRIM DOOR & ADJUST HARDWARE TO ALLOW SMOOTH, UNOBSTRUCTED OPERATION
33	3'0" x 6'8" x 1 1/2"	B	SCWD.				*		*EXIST. FRAME TO REMAIN
34-35	EXIST. DOOR/CERTAIN HARDWARE TO REMAIN*								
36-39	3'0" x 6'8" x 1 1/2"	B	SCWD.	7/6.0	8/6.0		1	5 3/4"	
40	EXIST. PAIR ALUM.								
41	3'0" x 6'8" x 1 1/2"	B	SCWD.	7/6.0	8/6.0	4/6.0	1	5 3/4"	
42	3'0" x 6'8" x 1 1/2"	B	90 - MIN.				*		*EXIST. FRAME TO REMAIN
43	3'0" x 6'8" x 1 1/2"	B	SCWD.				*		*EXIST. FRAME TO REMAIN
44	3'0" x 6'8" x 1 1/2"	B	SCWD.	5/6.0	6/6.0		1	5 3/4"	
45	3'0" x 6'8" x 1 1/2"	B	90 - MIN.				*		*EXIST. FRAME TO REMAIN
46	3'0" x 6'8" x 1 1/2"	B	SCWD.				*		*EXIST. FRAME TO REMAIN
47	3'0" x 6'8" x 1 1/2" (ALT. #3)	B	SCWD.	5/6.0	6/6.0		1	5 3/4"	(ALT. #3)
48	EXIST. DOOR/CERTAIN HARDWARE TO REMAIN*								*TRIM/GRIND DOOR & ADJUST HARDWARE TO ALLOW SMOOTH, UNOBSTRUCTED OPERATION
49	3'0" x 6'8" x 1 1/2"	B	90 - MIN.						
50	3'0" x 6'8" x 1 1/2"	B	SCWD.						
51	3'0" x 6'8" x 1 1/2" (ALT. #3)	B	SCWD.	5/6.0	6/6.0		1	5 3/4"	(ALT. #3)
52	EXIST. DOOR/CERTAIN HARDWARE TO REMAIN*								
53	NOT USED	-	-	-	-	-	-	-	-
54	NOT USED	-	-	-	-	-	-	-	-
55	3'0" x 6'8" x 1 1/2"	A	H.M.				EXIST.*		*REPAIR AS REQ'D.
56	EXIST. DOOR/W NEW HARDWARE								*W/PARTIAL NEW HARDWARE SEE 08/100
57	3'0" x 6'8" x 1 1/2" (ALT. #4)	B	SCWD.	7/6.0	8/6.0		1	5 3/4"	(ALT. #4)
58	3'0" x 6'8" x 1 1/2" (ALT. #4)	B	SCWD.	7/6.0	8/6.0		1	5 3/4"	(ALT. #4)
59	NOT USED	-	-	-	-	-	-	-	-
60-61	NOT USED	-	-	-	-	-	-	-	-



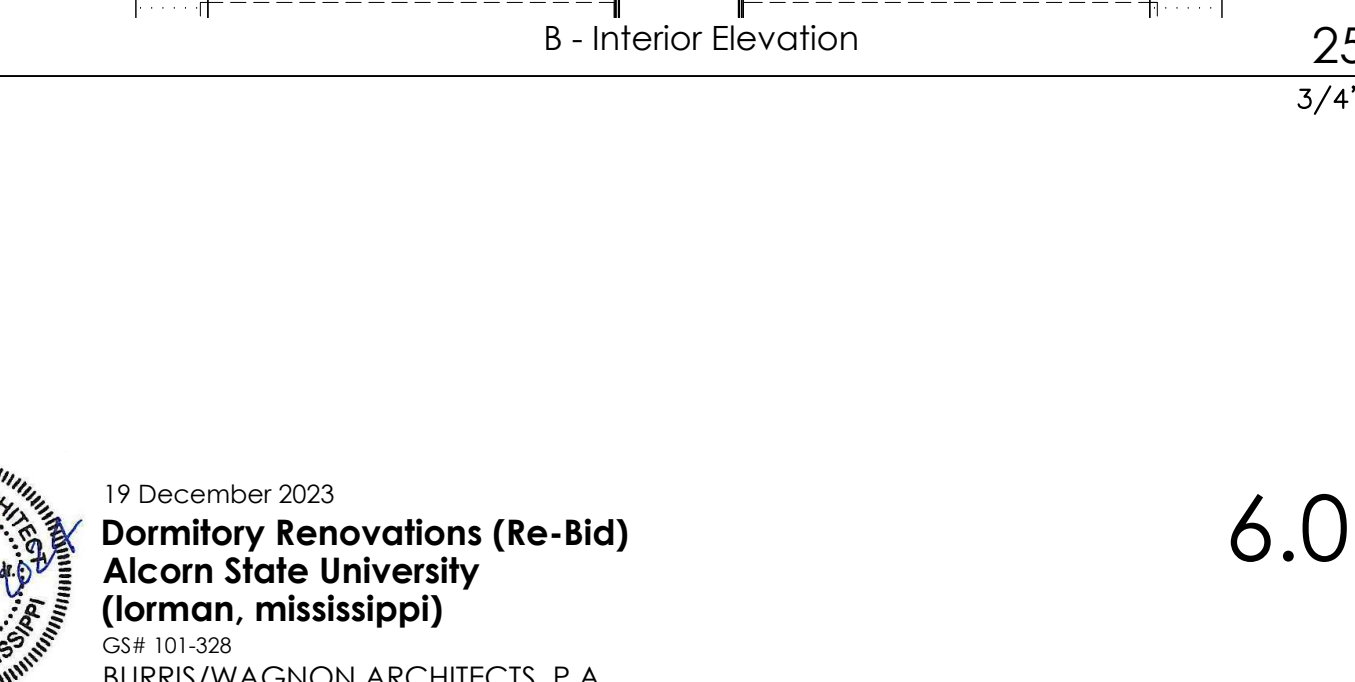
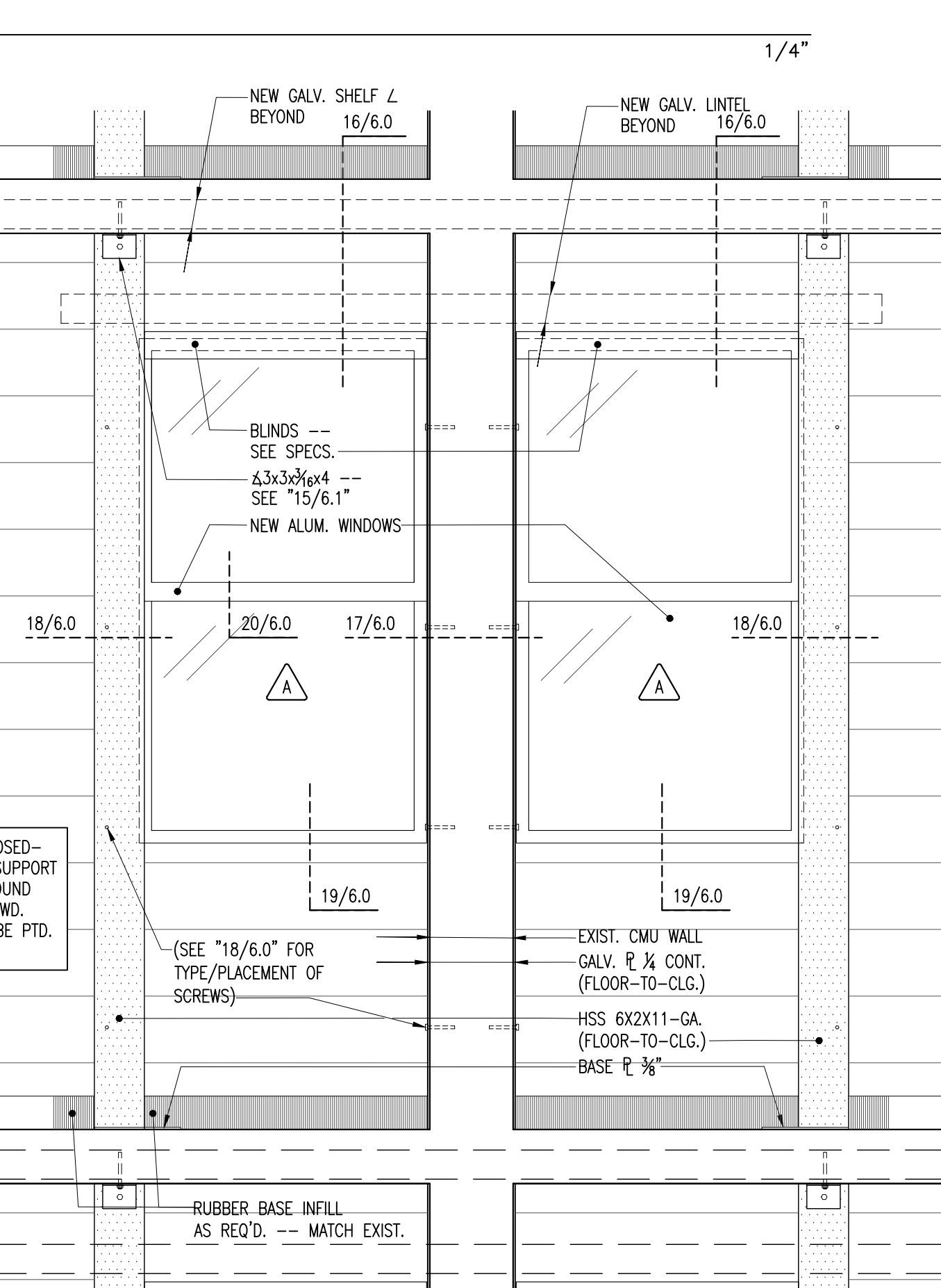
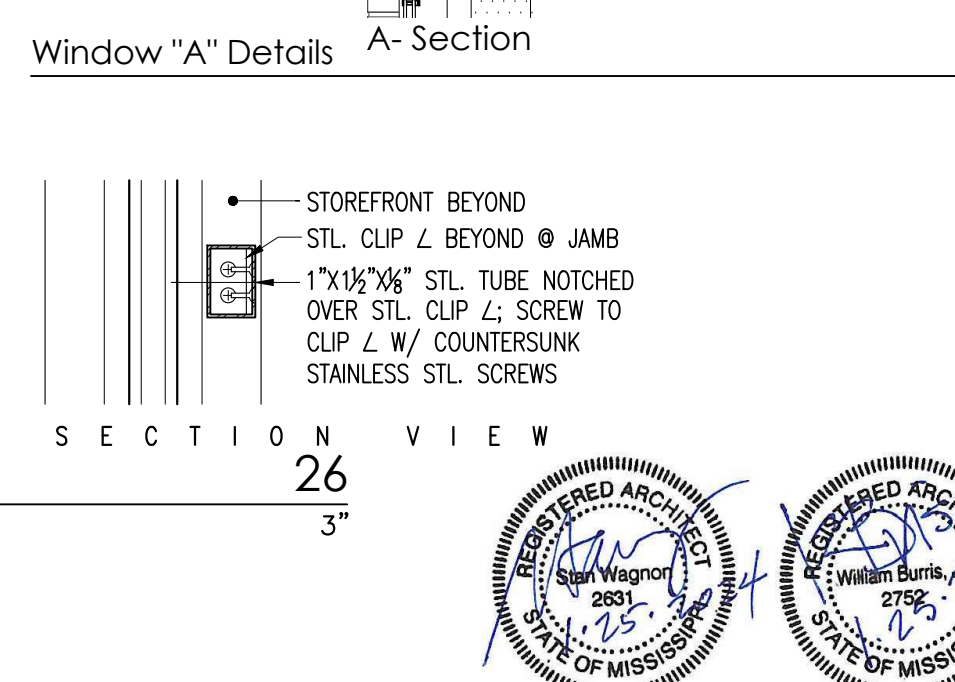
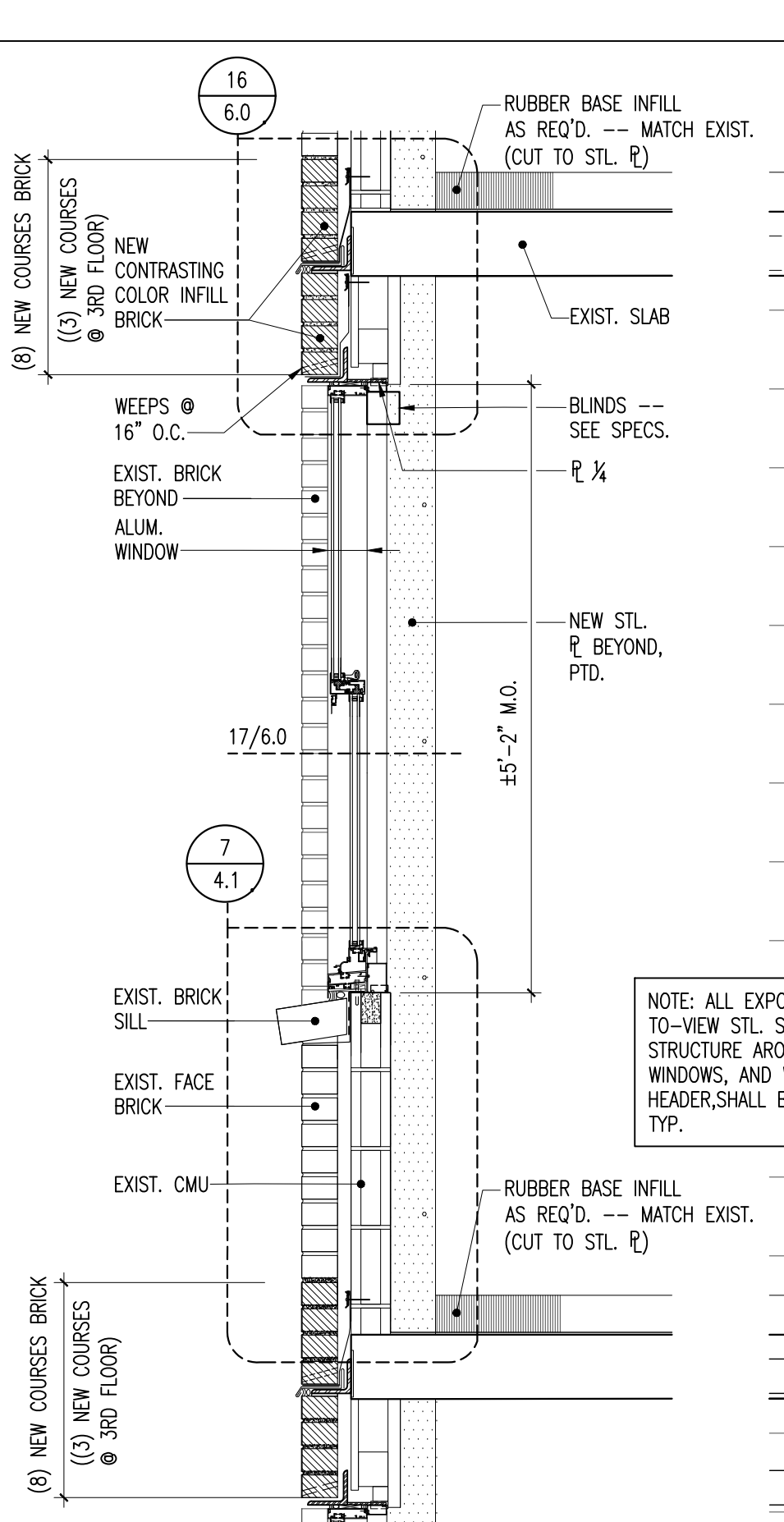
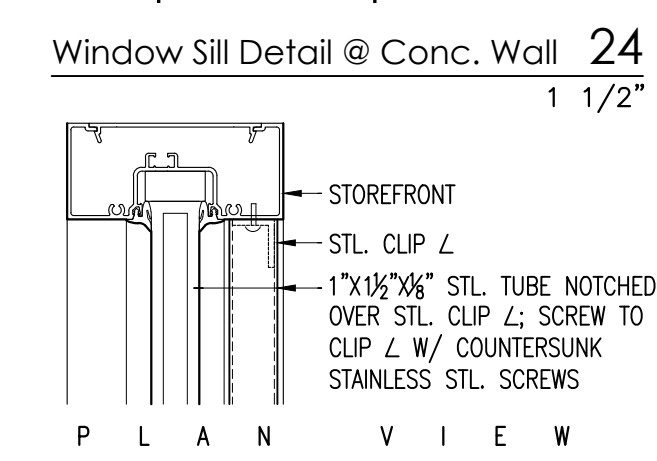
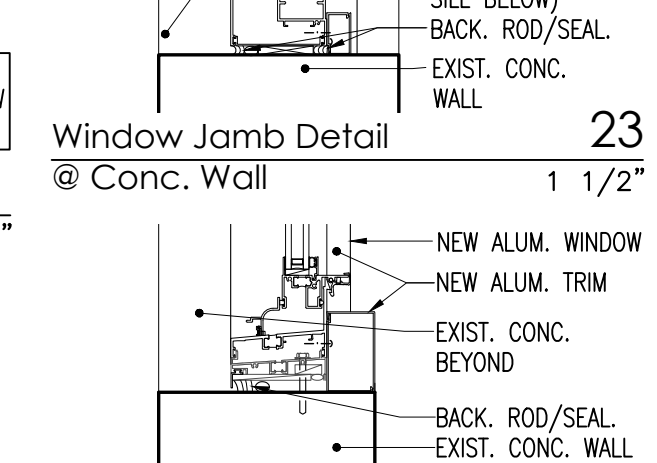
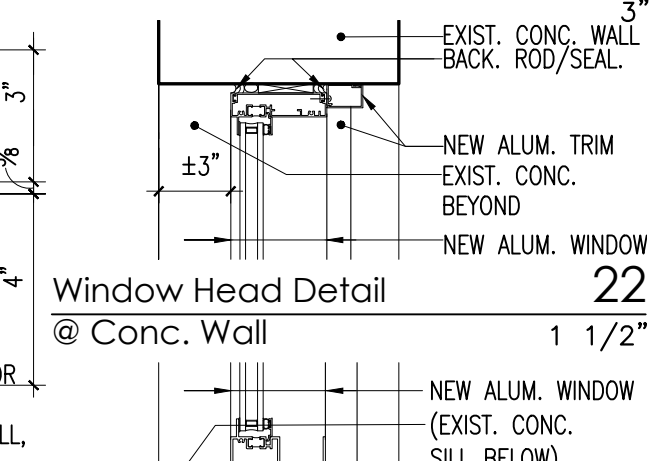
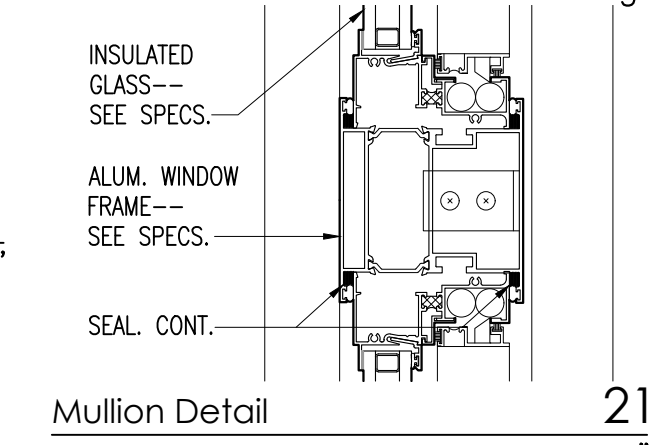
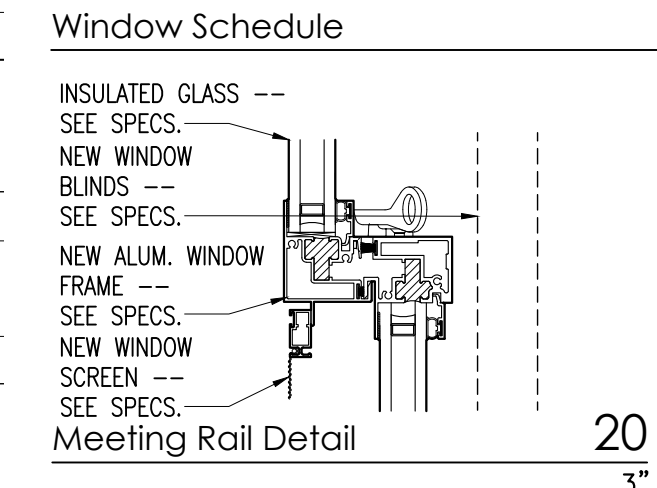
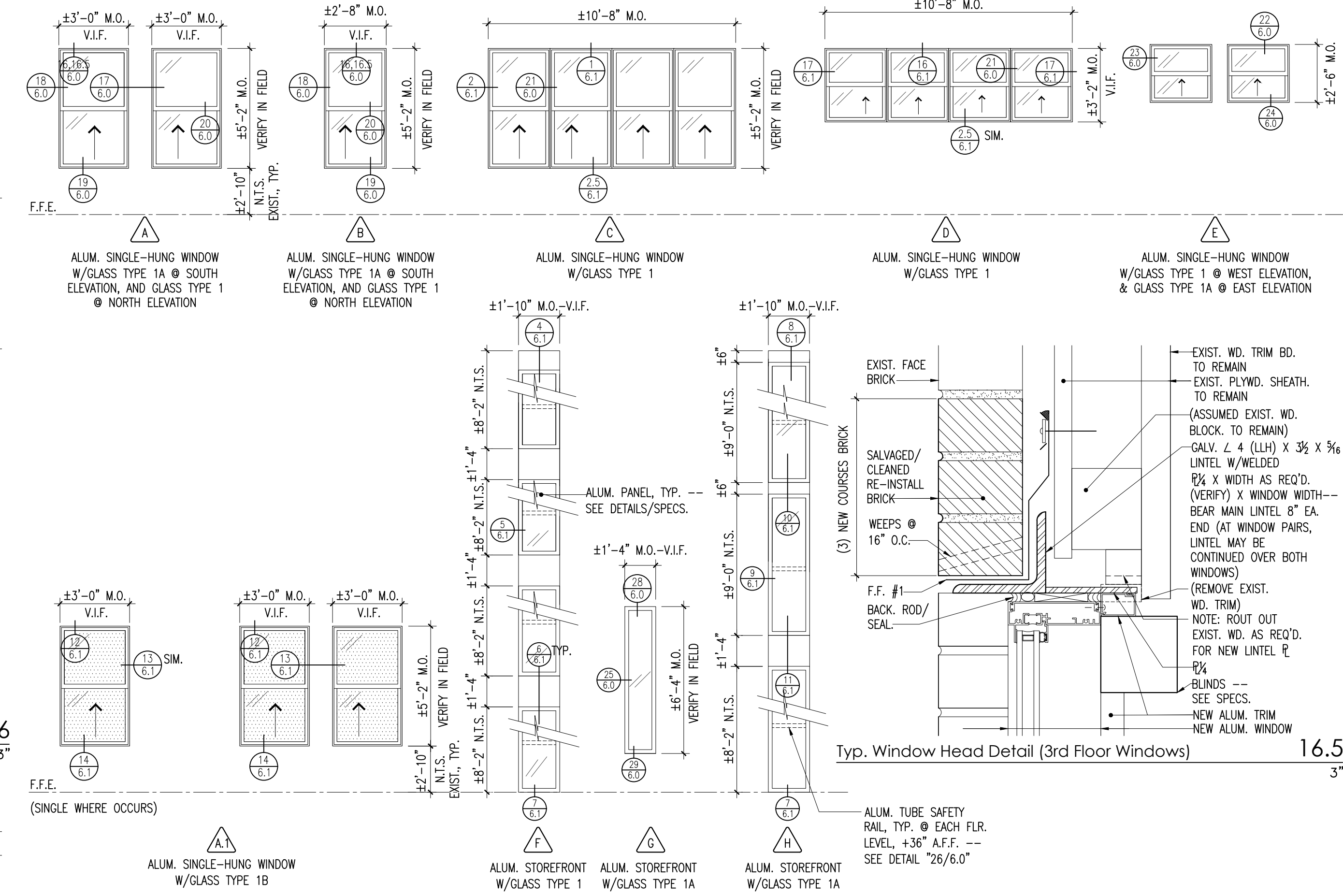
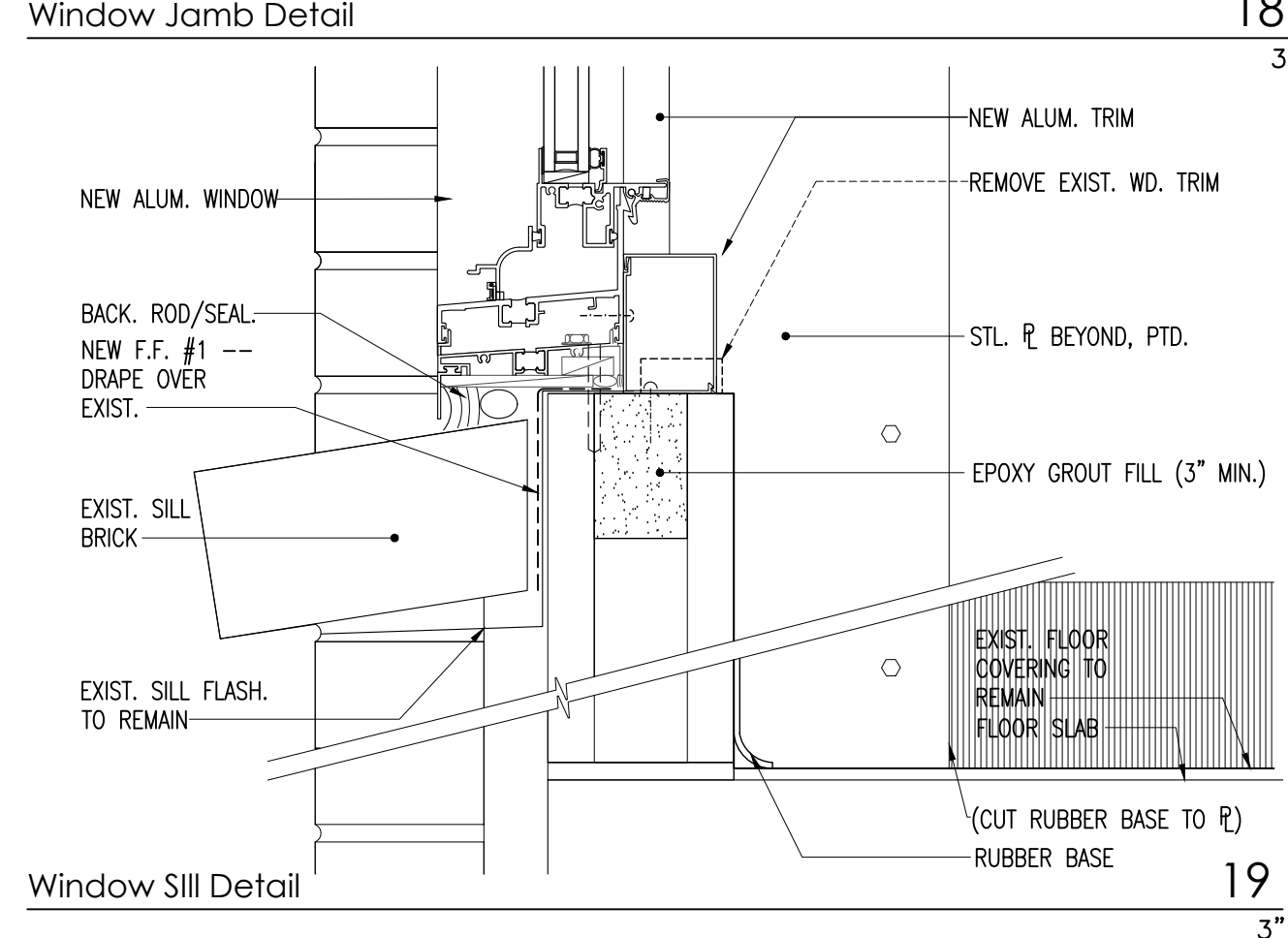
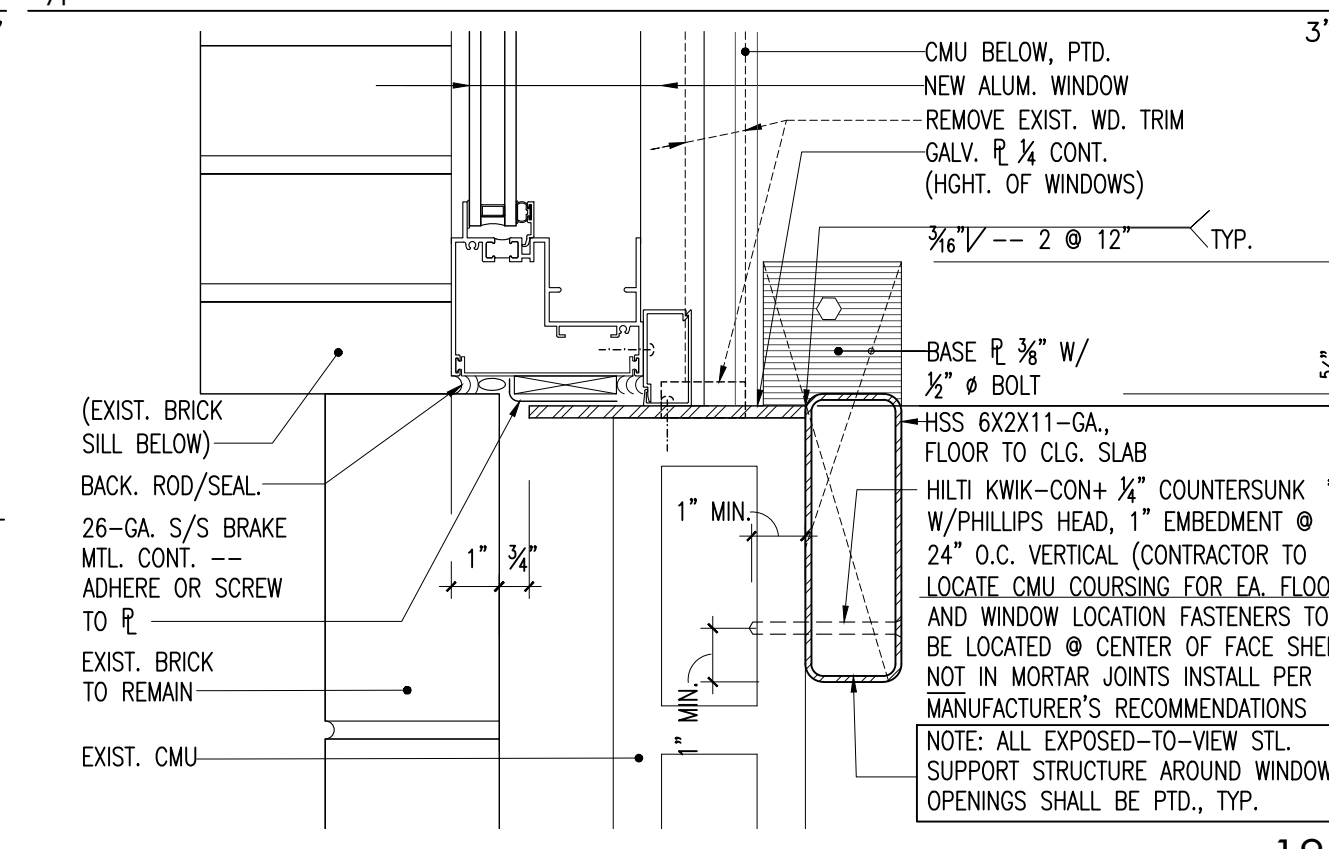
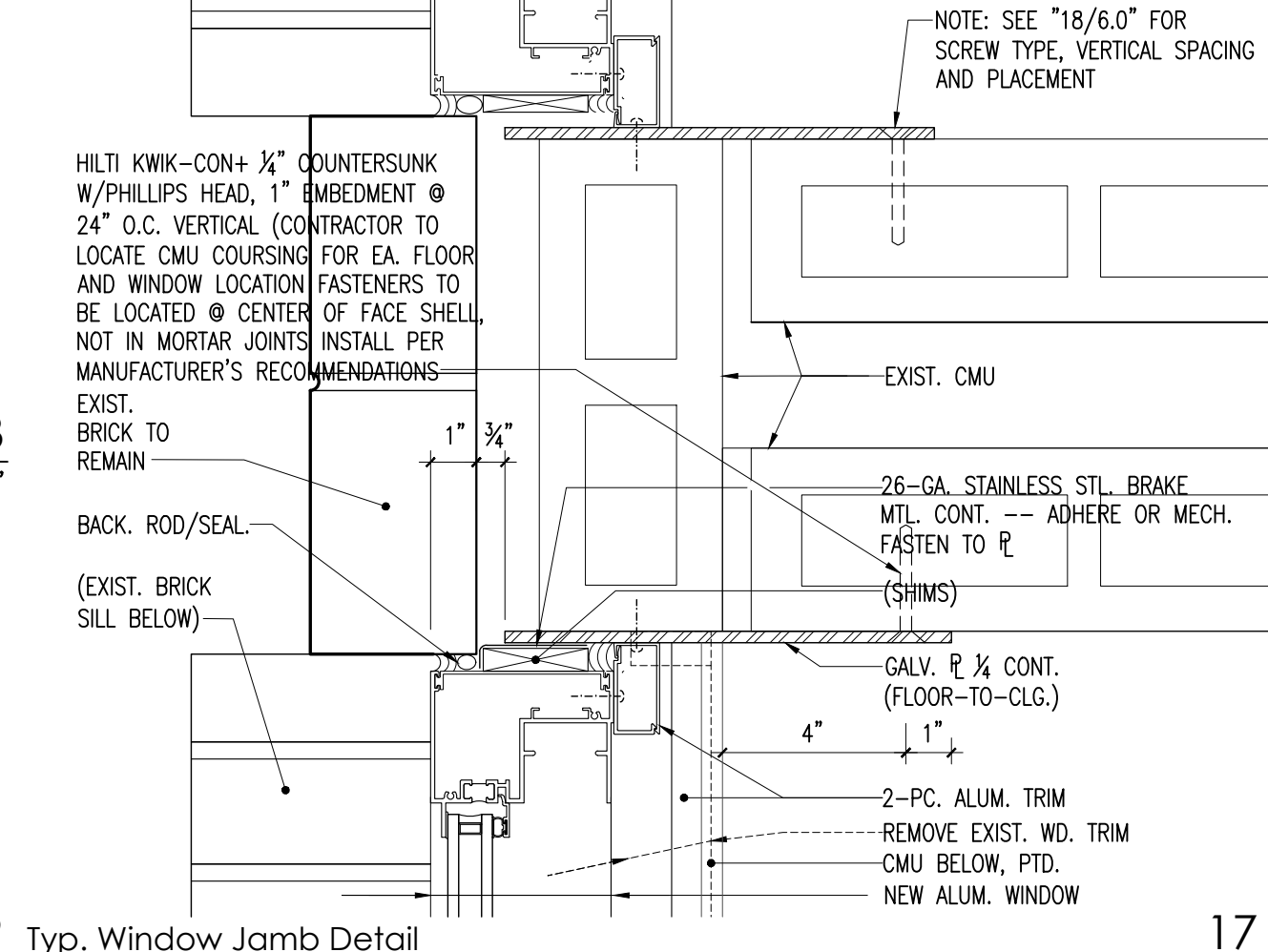
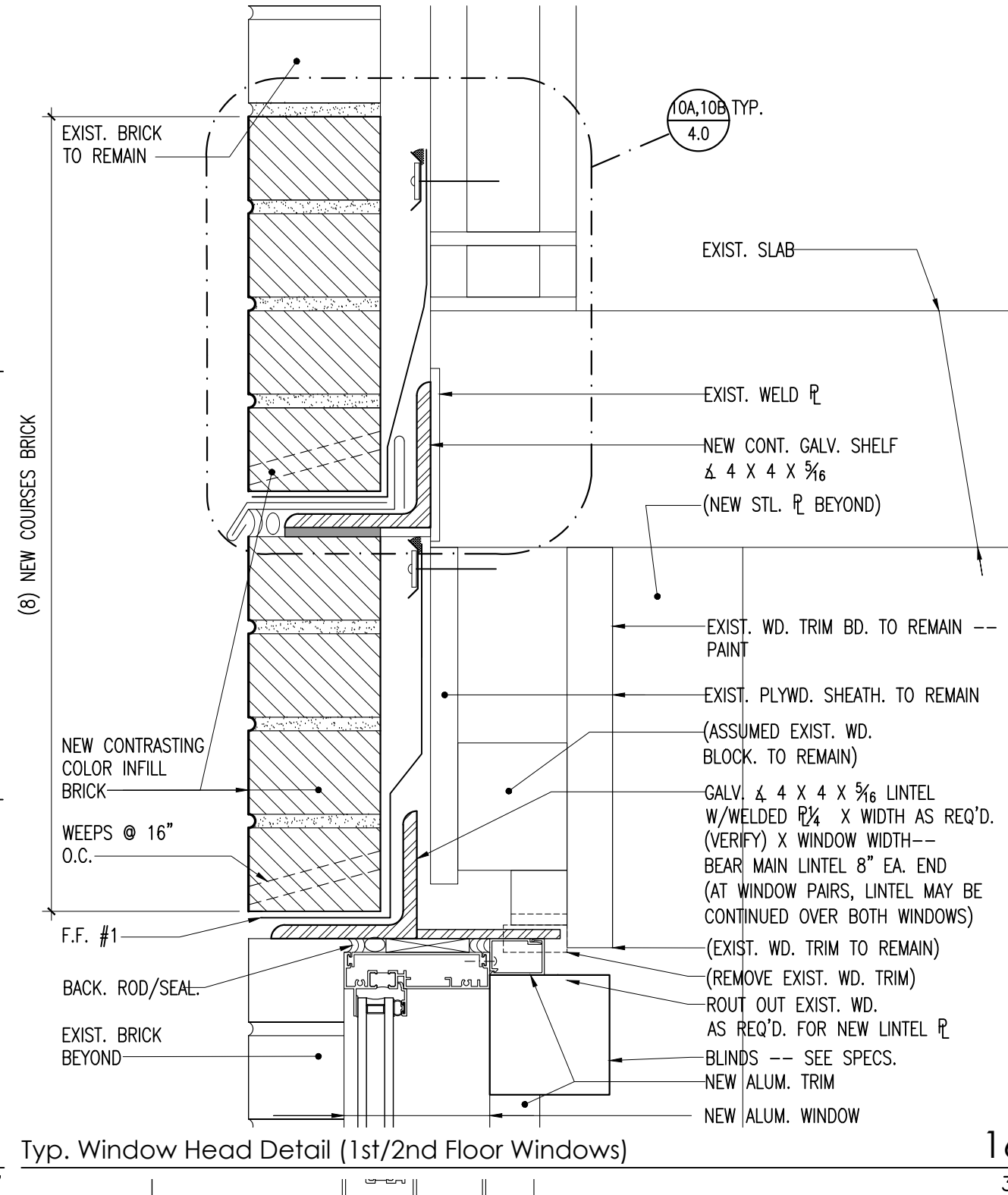
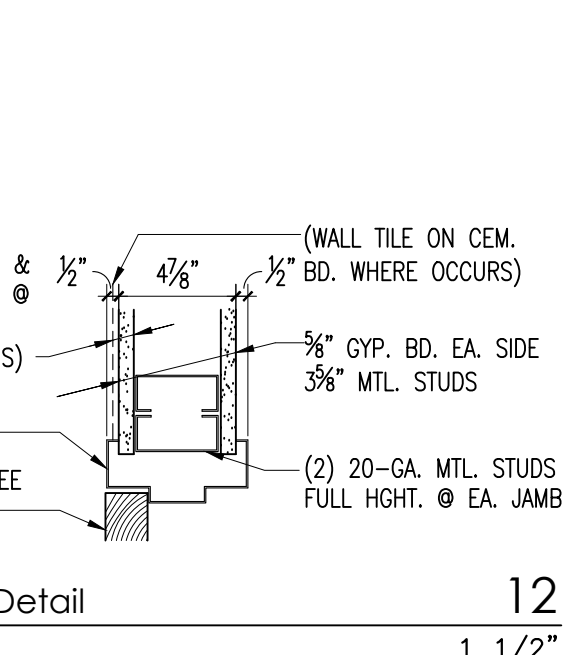
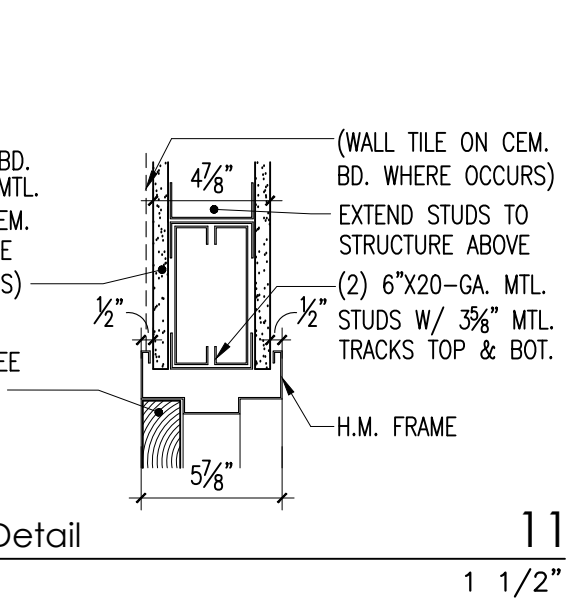
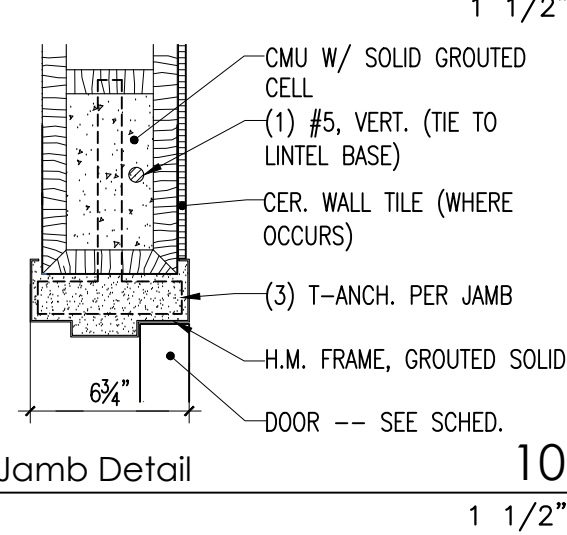
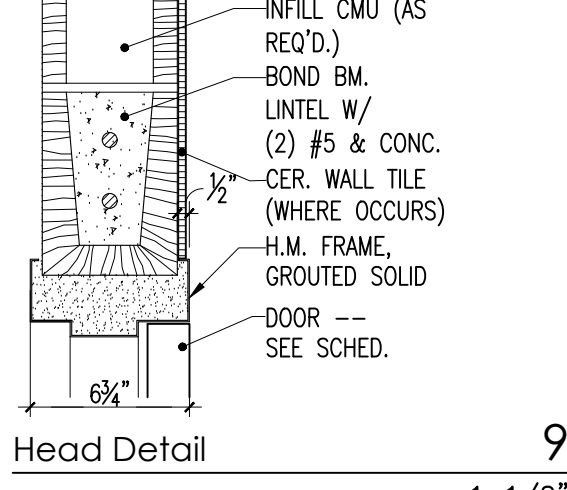
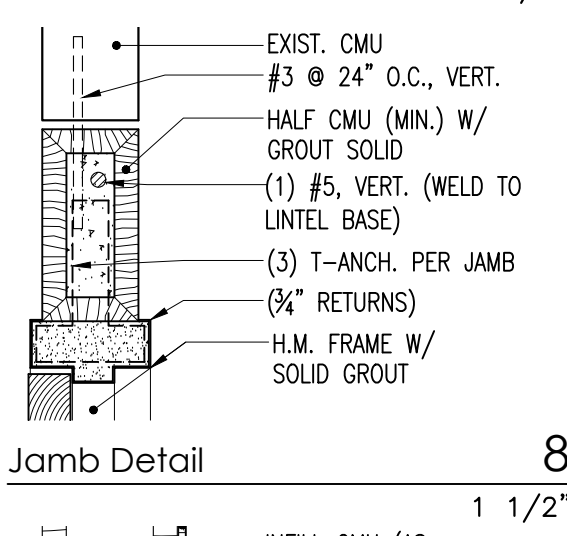
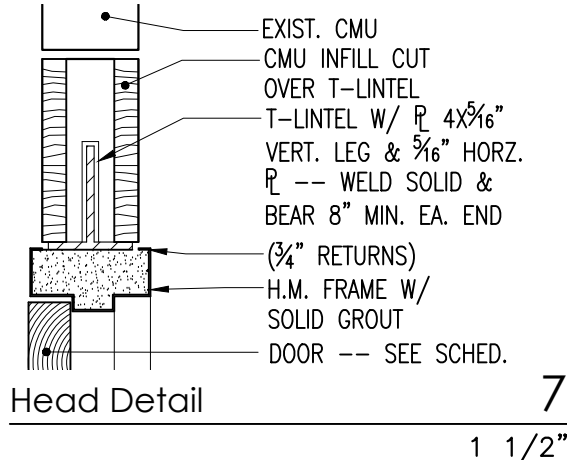
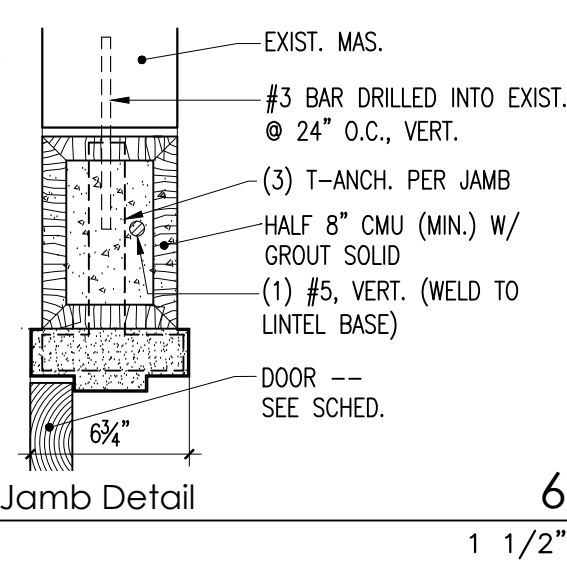
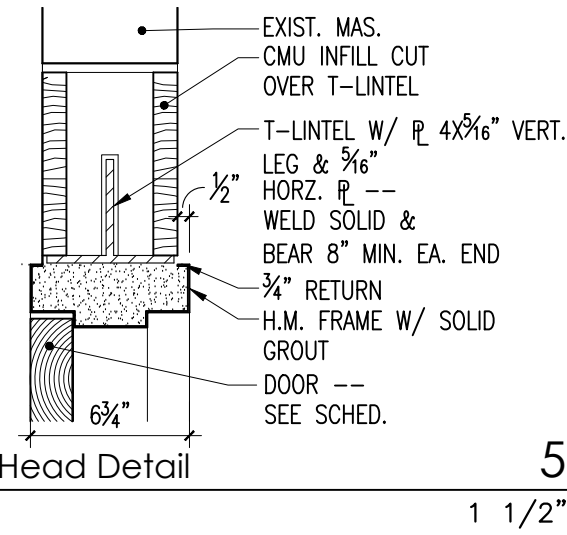
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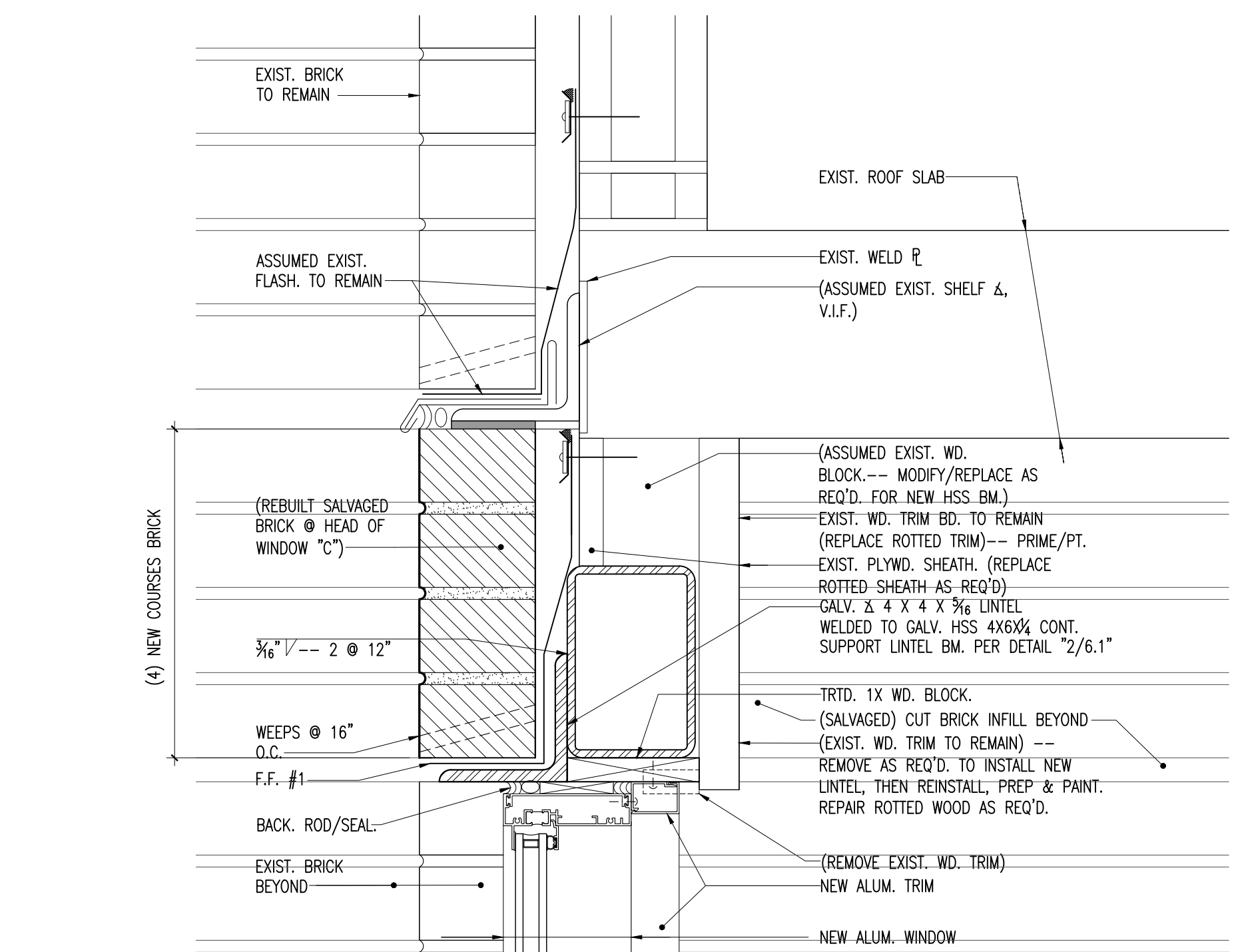


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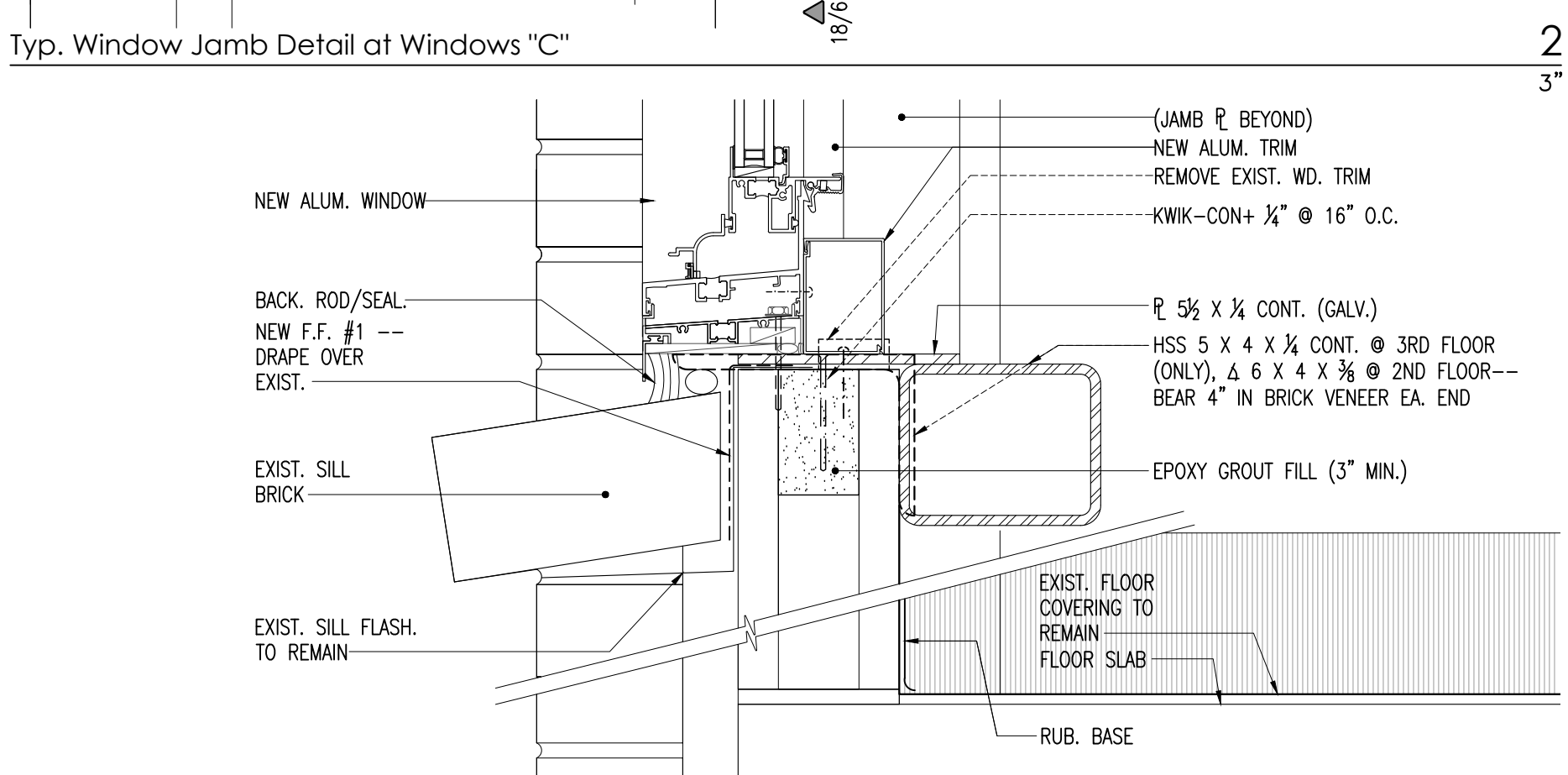
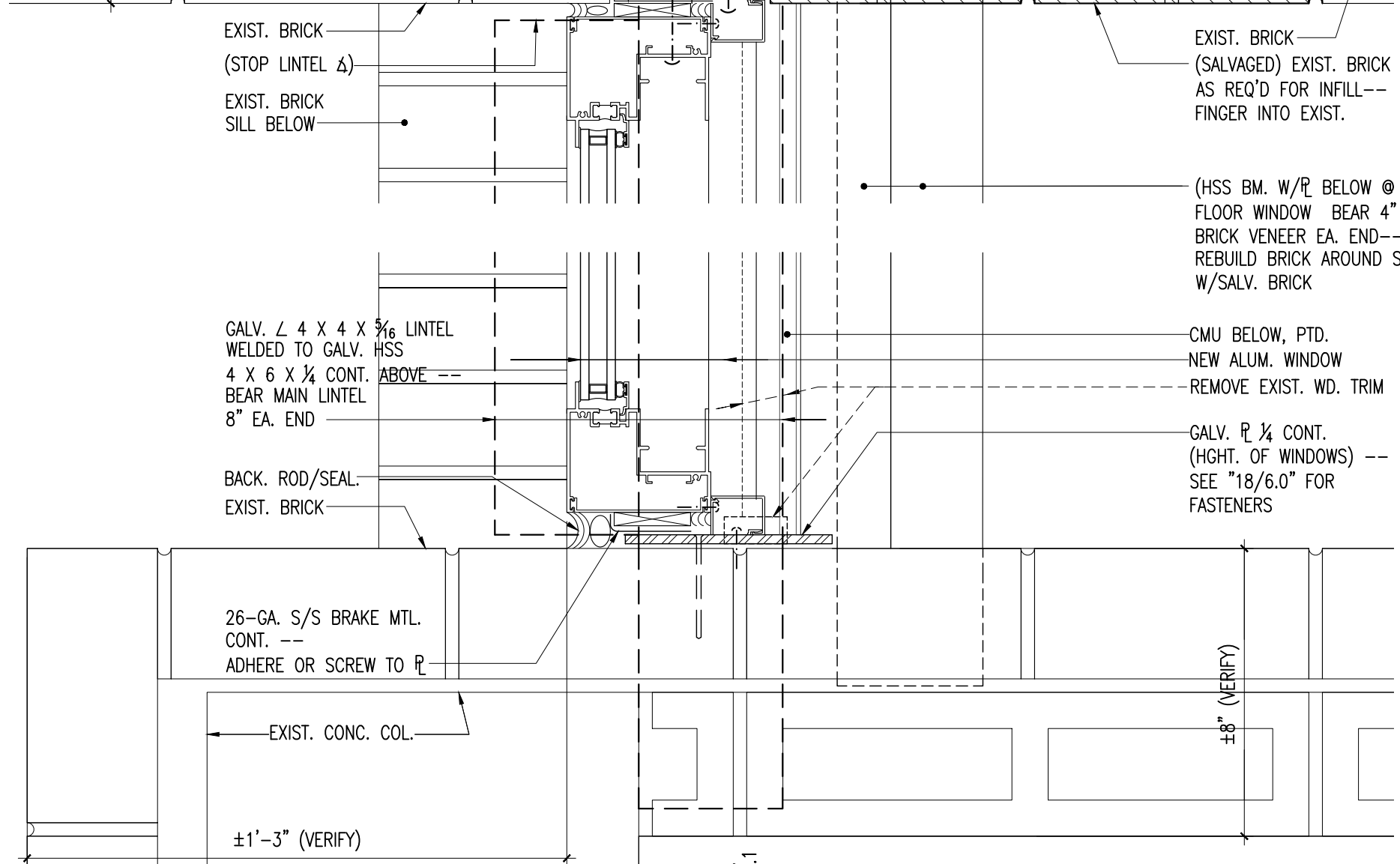
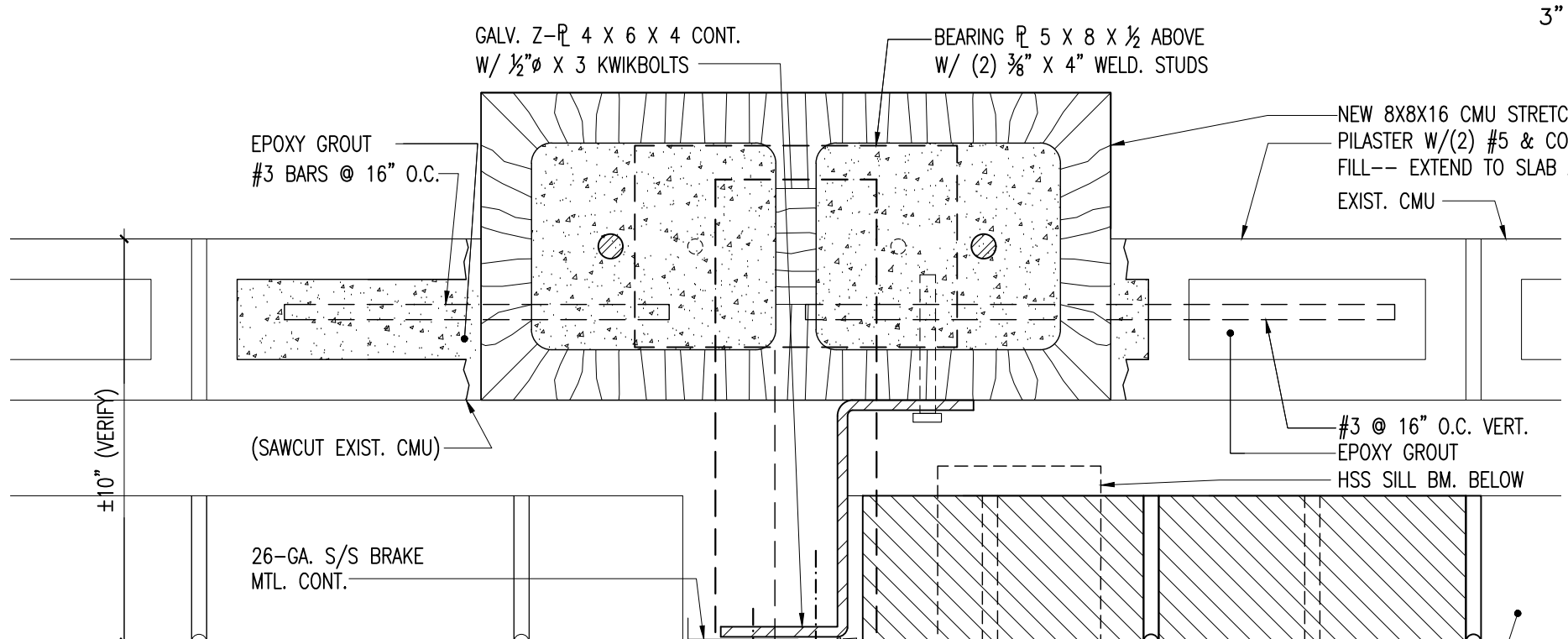
Typ. Door/Frame Restoration Notes:

- Cut off exist. doors as req'd. to accommodate new higher floor finishes. Contractor to verify all "existing" opening sizes to be re-used, prior to submittals.
- Exist. hol. mtl. door restoration/repair:
 - Remove exist. signage & fill holes w/bondo; sand smooth.
 - Fill all dents/holes w/bondo; sand smooth.
 - Sand all smooth, prime, and paint.
- Exist. hollow metal frame restoration/repair (interior and exterior):
 - Fill all dents/holes w/bondo; sand smooth.
 - At exterior frames, repair rusted frames w/stl. infill plate; bondo flush; sand smooth.
 - Sand all, prime, and paint.
- Replace existing damaged door grilles --- see Section 05 55 00/2.12. Prime/paint both sides to match door.
- Remove/reinstall any exist. hardware as req'd. to install new armor plates, etc.

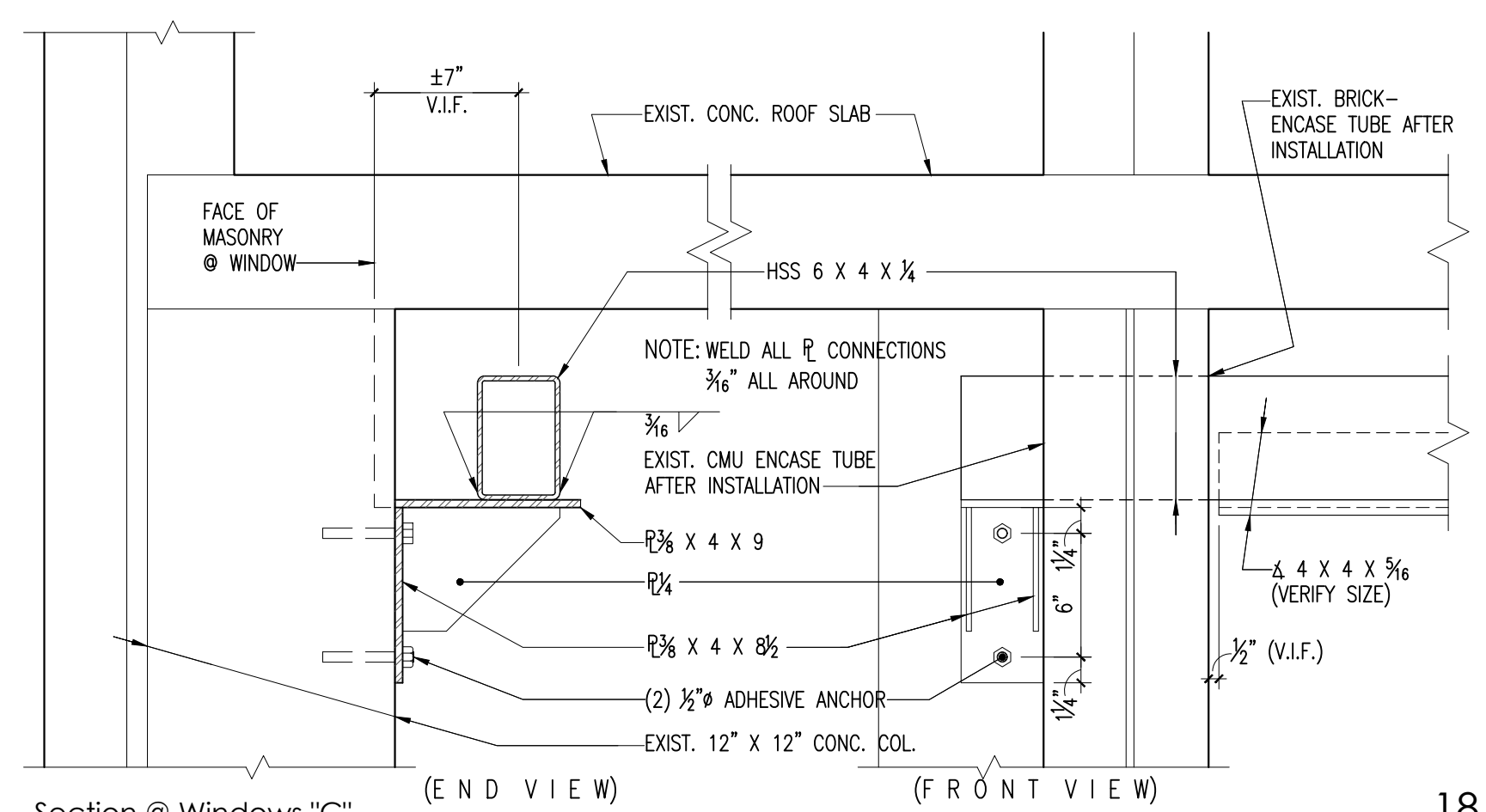




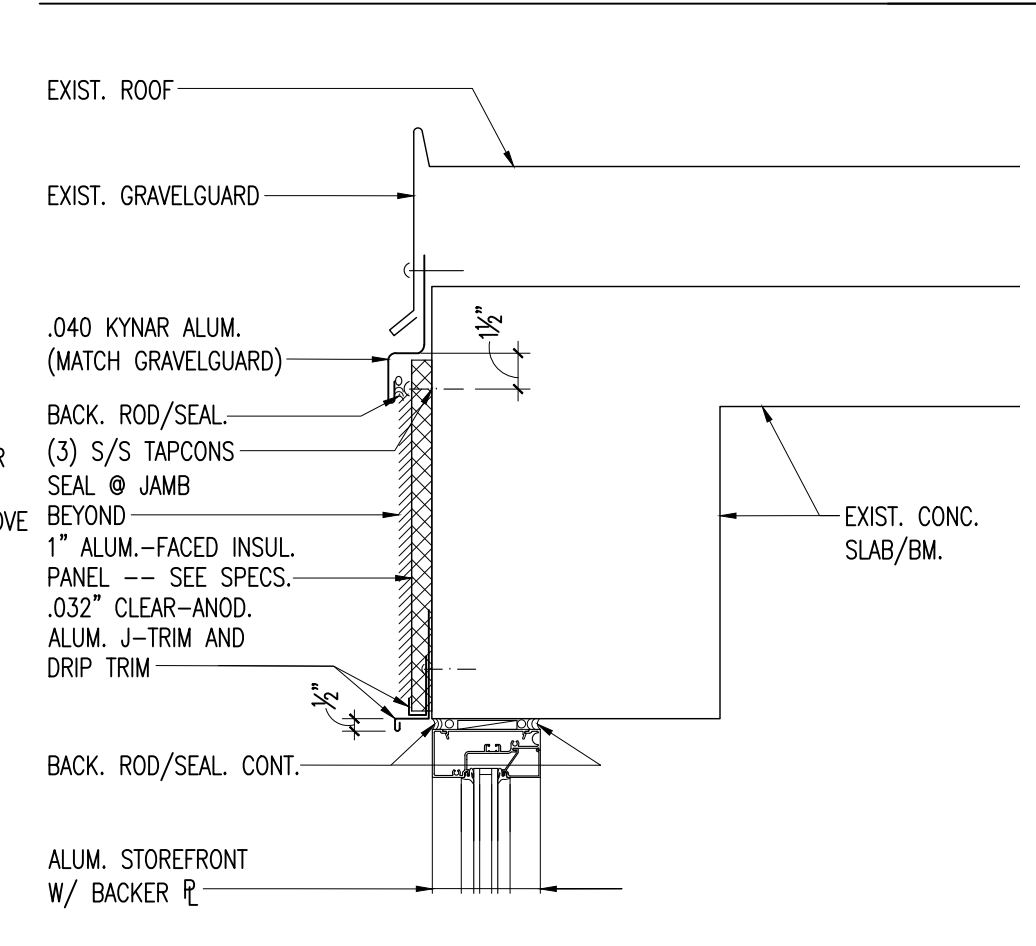
Typ. Window Head Detail at Windows "C"



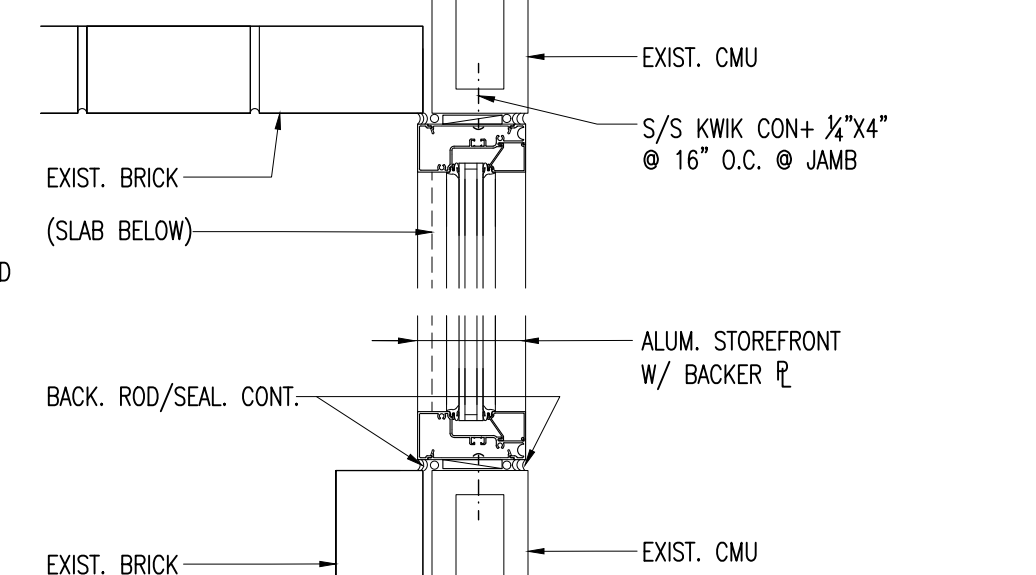
Typ. Window Sill Detail at Windows "C" and "D"



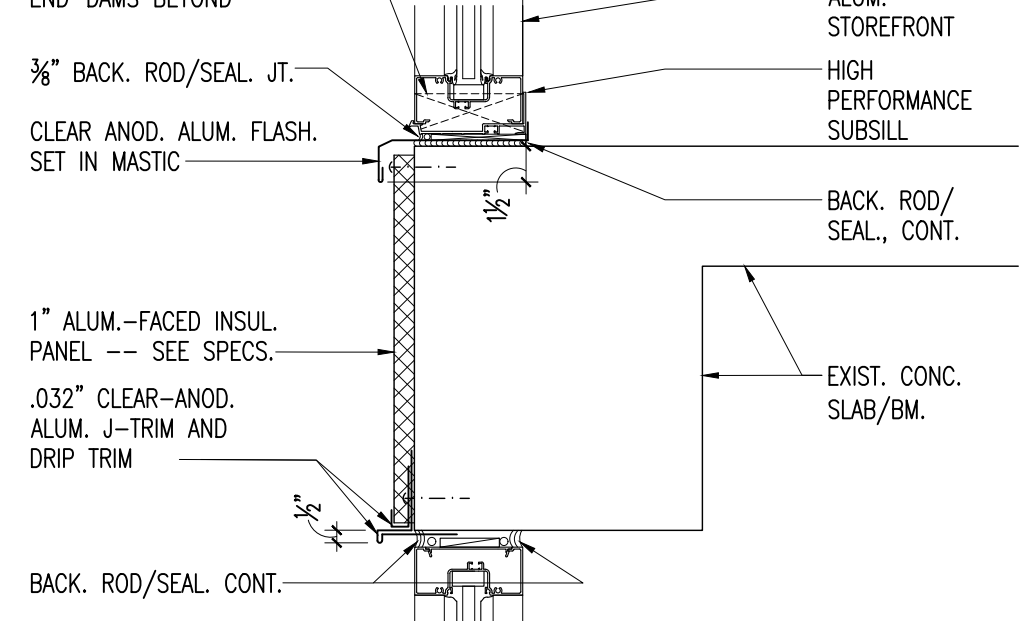
Section @ Windows "C"



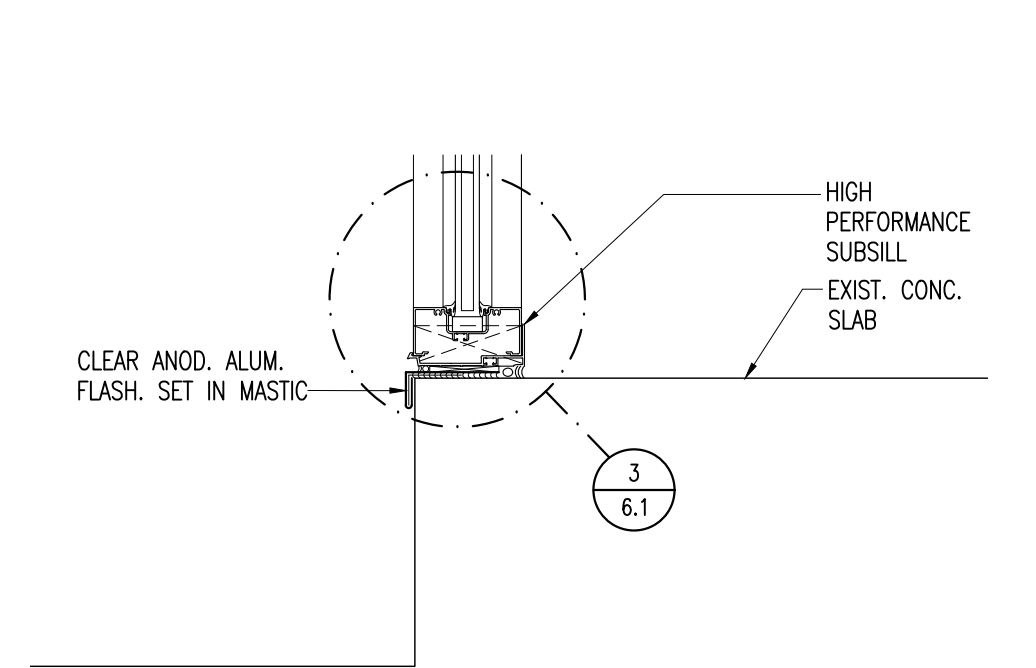
Head Detail at Window "F" (@ Roof)



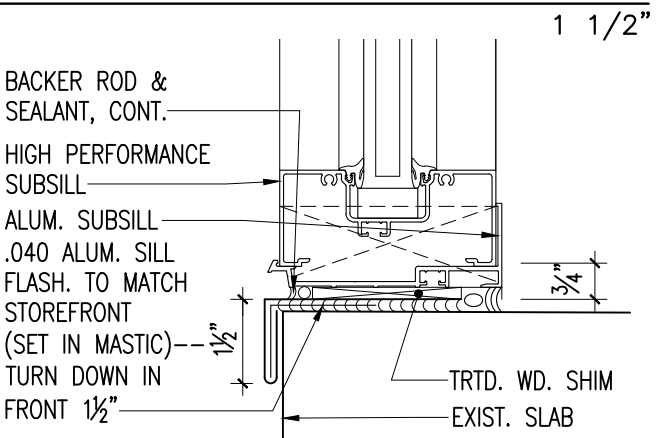
Jamb Detail @ Window "F"



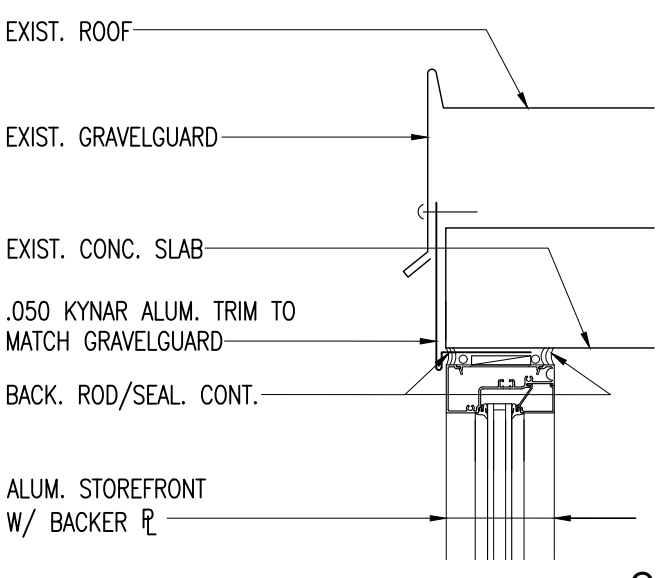
Typ.. Spandrel Detail @ Window "F"



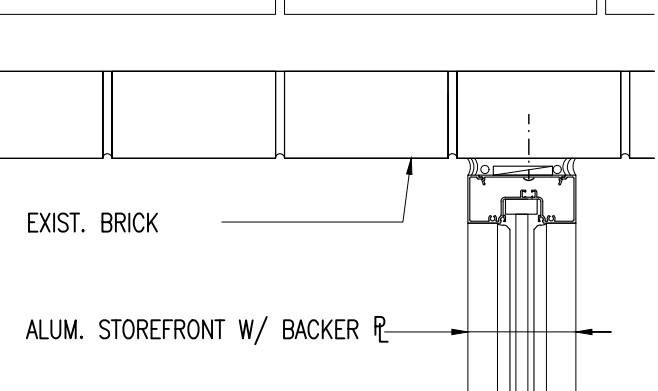
Sill Detail



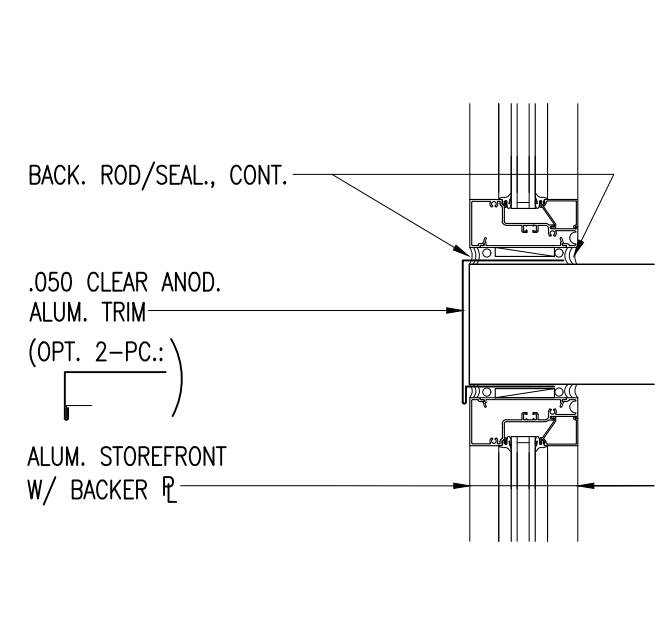
High Performance Storefront Subsill



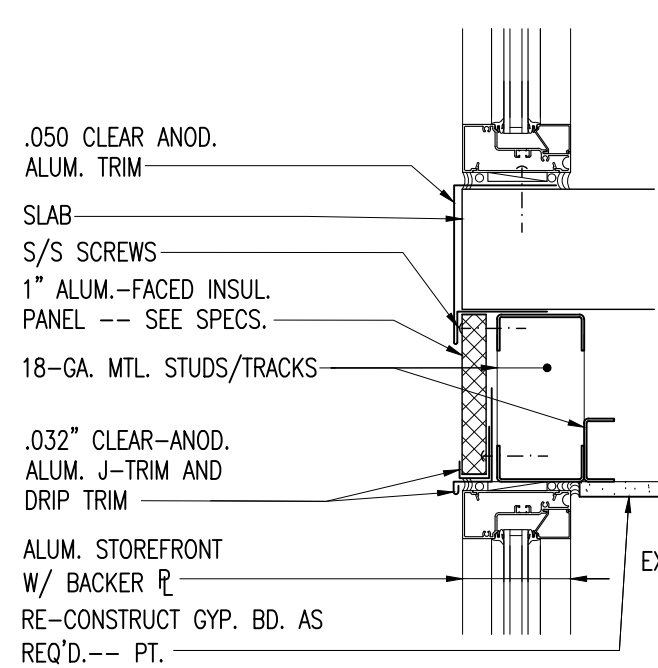
Head Detail at Window "H" (@ Roof)



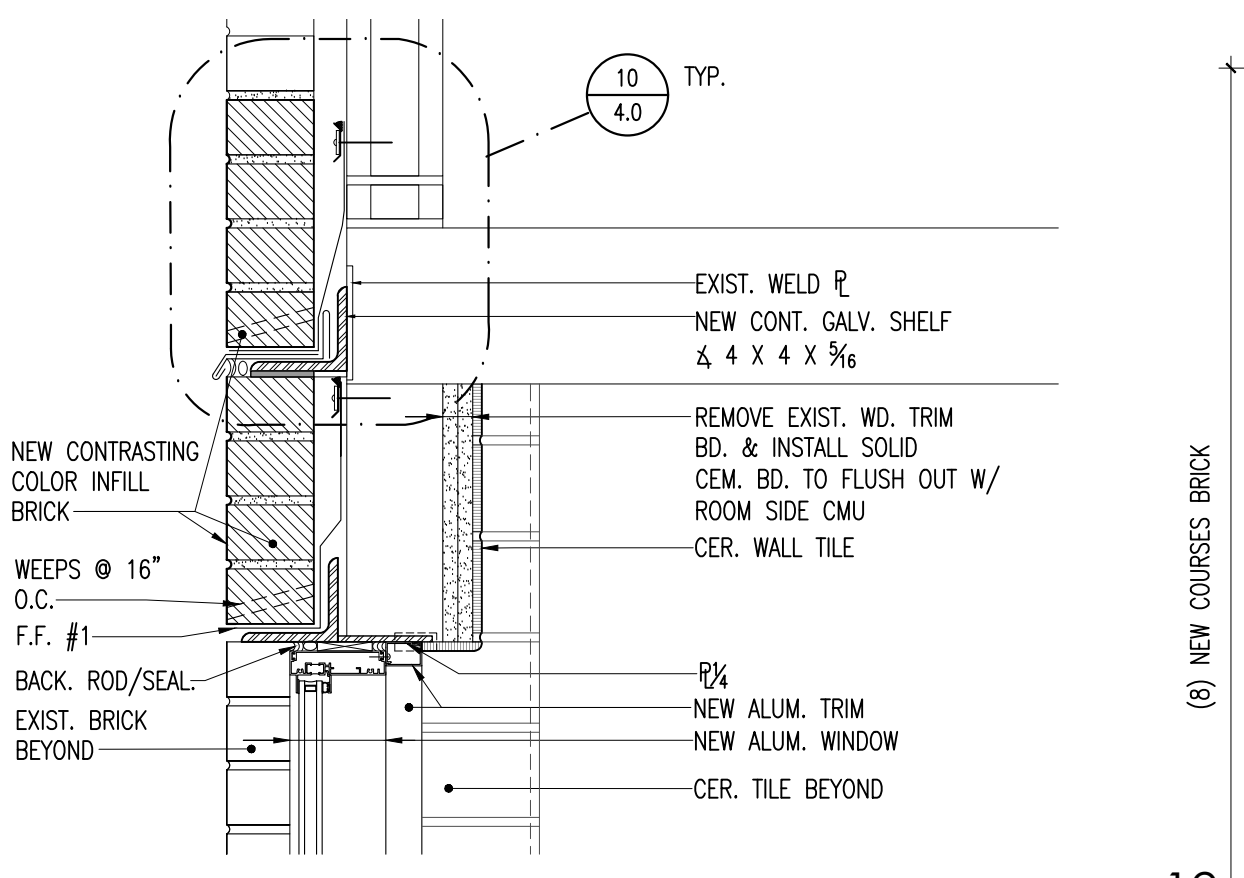
Jamb Detail at Window "H"



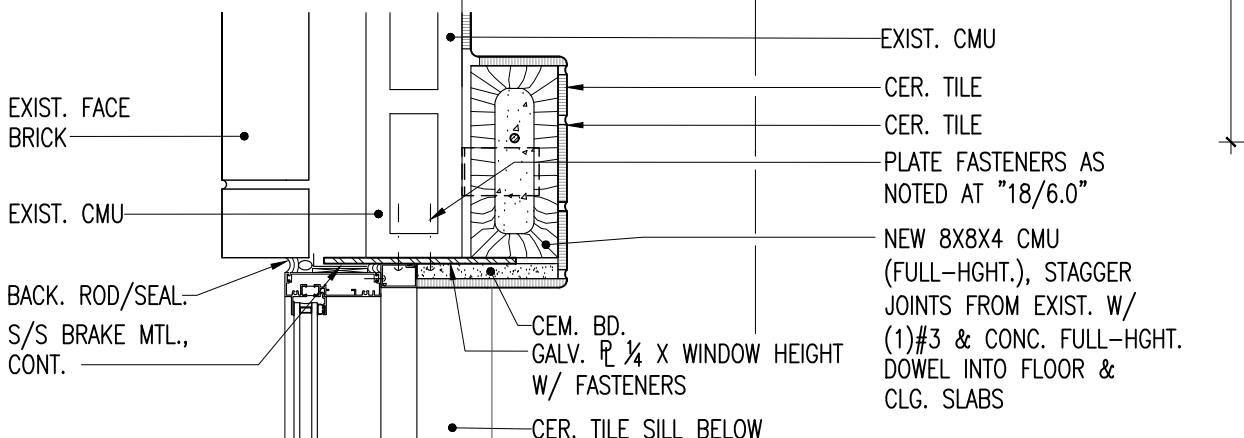
Typ. Window Sill Detail at Robinson Restrooms



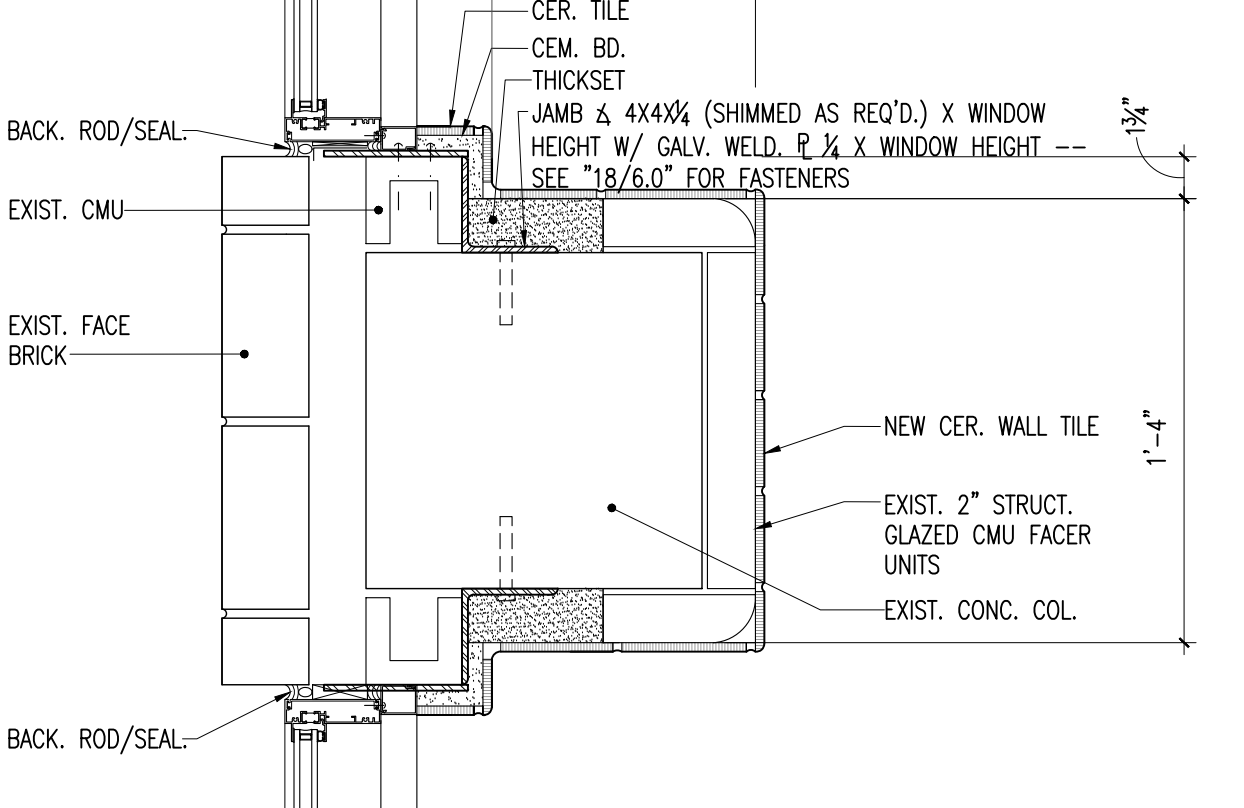
Spandrel (3rd Floor)



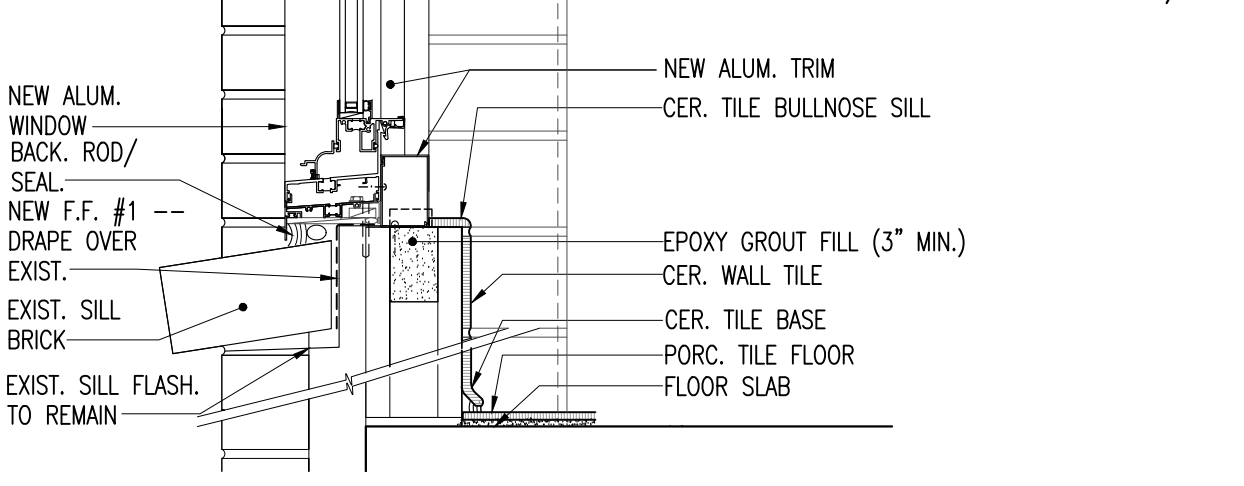
Typ. Window Head Detail at Robinson Restrooms



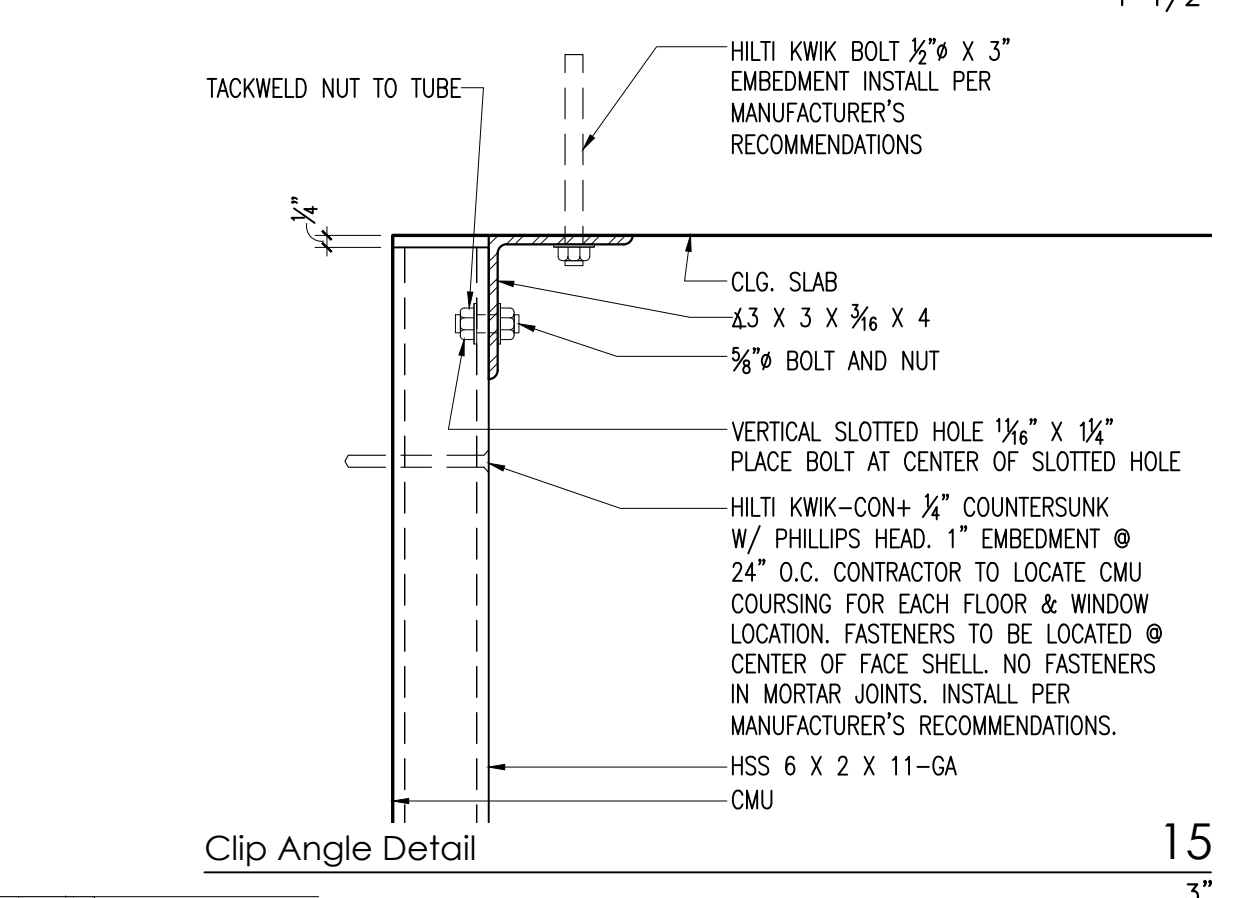
Window Head Detail at Window "D"



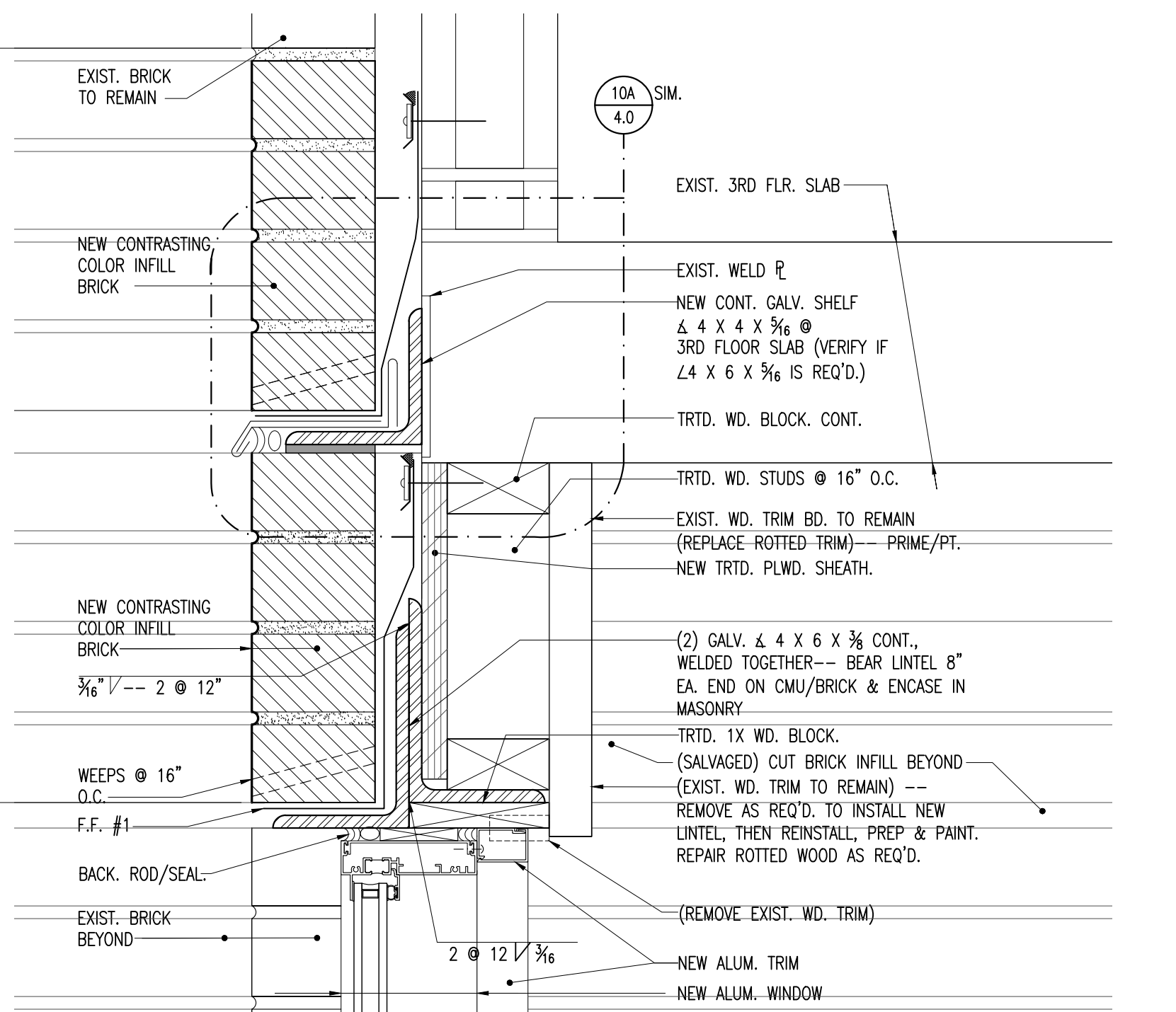
Typ. Window Jamb Detail at Robinson Restrooms



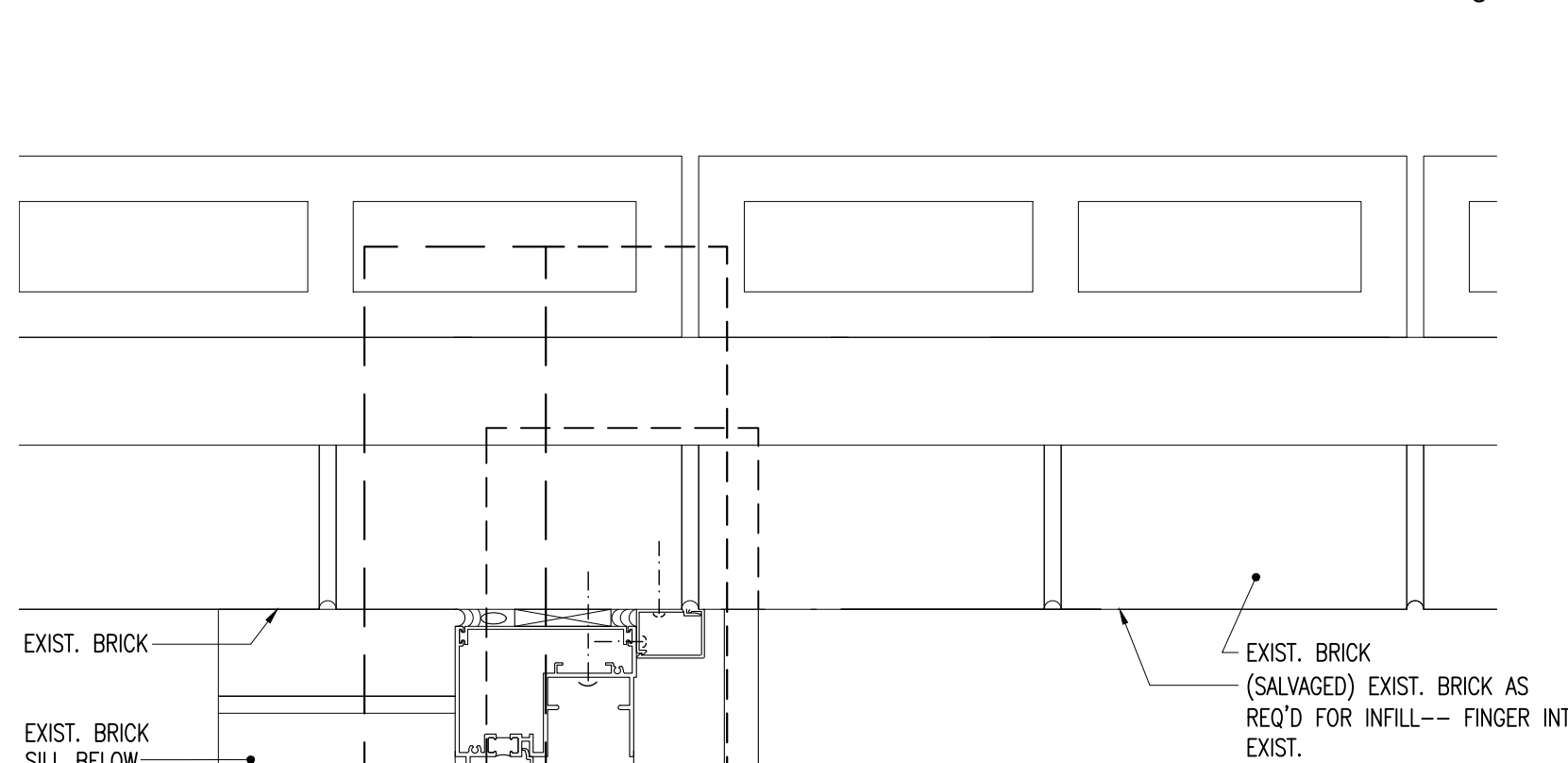
Typ. Window Sill Detail at Robinson Restrooms



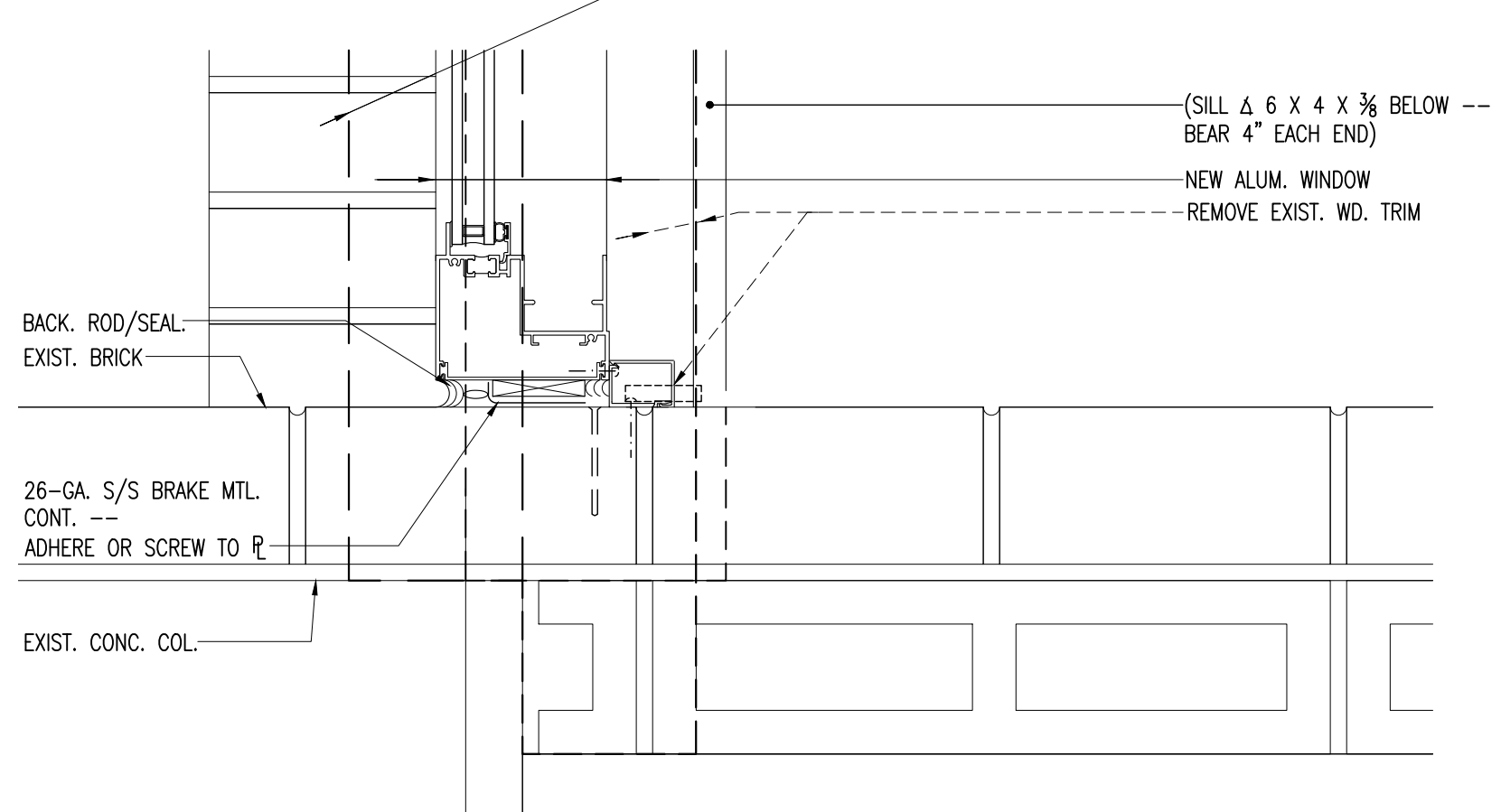
Clip Angle Detail



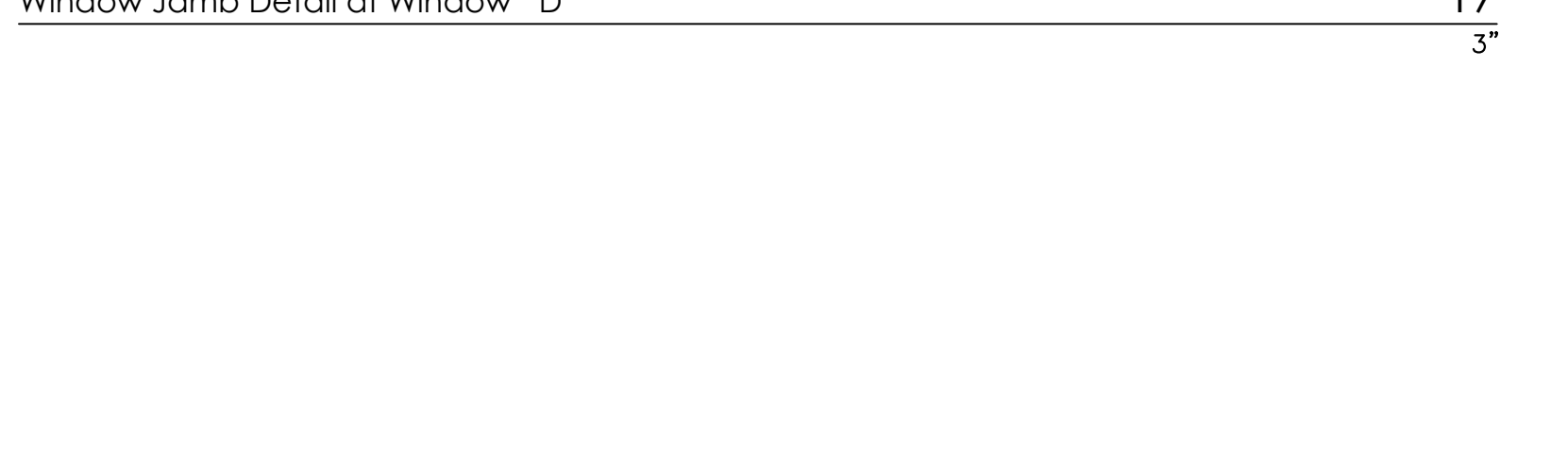
Window Head Detail at Window "D"



Window Jamb Detail at Window "D"



Window Jamb Detail at Window "D"



Window Jamb Detail at Window "D"





GS#101-328
Dormitory Renovations (RE-Bid)
ALCORN STATE UNIVERSITY
Lorman, MISSISSIPPI

ADDENDUM NUMBER TWO

February 22, 2024

To the Plan:

Drawings

A. E 203;

1. In Room # R61 to be revised as new Laundry Room, install two new light fixtures (Lithuania No. CPANL 2x4-AL06-SWW7-M2 2500Lum or as equal as accepted) and connect to exiting switched lighting branch circuit. This work shall be part of Alternate No. 3.
2. All work on both floor plans shown for the new IT closet/room shall be part of Alternate 4. (Existing wood frame IT closet in corridor shall remain under Base Bid.)
3. The existing IT closet on 2nd floor is to remain "as is" for Base Bid.
4. Note number 4 for Power and Communications shall change Alternate #2 to be Alternate #3.

B. E204;

1. In Room # R96 to be revised as new Laundry Room, install two new light fixtures (Lithuania No. CPANL 2x4-AL06-SWW7-M2 2500Lum or as equal as accepted) and connect to exiting switched lighting branch circuit. This work shall be part of Alternate No. 3.
2. All work on both floor plans shown for the new IT closet/room shall be part of Alternate 4. (Existing wood frame IT closet in corridor shall remain under Base Bid.)
3. The existing IT closet on 2nd floor is to remain "as is" for Base Bid.
4. Note number 4 for Power and Communications shall change Alternate #2 to be Alternate #3.



C. E205;

1. Remove the two Dorm Room Plan Details from the drawing. This work is not required.

General:

1. Modify the plans to change Alternate No.2 to be Alternate No.3.
2. For alternate No.1, contractor shall provide temporary modifications to electrical and communications devices to accommodate the above ceiling work in the corridors on all floors. Contractor shall re-install devices in corridor ceilings after new work is complete. The cost for this work shall be a separate line item on the schedule of values.

- END OF ADDENDUM NO. 2 -



02/22/2024



BUREAU OF BUILDING, GROUNDS AND REAL PROPERTY MANAGEMENT

106-326

Date: 2-15-24

Project Number & Name:

Robinson Hall Pre Bid

Sign-in Sheet

	Date:	Name:	Company:	Phone:	Time:	Item Description:
1.	2-15-24	Ken Taylor	BoB	601-812-1511		
2.	2-15-24	Aimee Reynolds	Alcorn State	601-877-8964		
3.	2-15-24	Yadoma Watts	Alcorn State	601-877-6479		
4.	2-15-24	JERRY WENDLING	SOUTHERN SASH SUPPLY	334-265-3521		
5.	2-15-24	Mark Puckett	ECI	661-754-0493		
6.	2-15-24	Scott Slay	Brookhaven Electric	601-833-9233		
7.	2-15-24	Troy Jordan	Brookhaven Electric	601-833-923		
8.	2-15-24	DEWAYNE McFarland	Brookhaven Electric	601-384-7213		
9.	2/15/24	Mike Eddy	DCS	601-345-7299		
10.	2-15-24	ALLEN MUMFLET	DCS	601-967-6216		
11.	2-15-24	Andrew Merriman	RWC	913-660-6936		
12.	2-15-24	Alex Sheumaker	Paul Jackson & Son	601-833-3453		
13.	2-15-24	Josh Fuller	Paul Jackson & Son	601-833-3453		
14.	2-15-24	Dale Parker	Firetrol	769-770-5210		
15.	2-15-24	John Fortenberry	WETNWS Systems	601-377-2180		
Agenda:						
	2-15-24	Stan wagner	Burns/Wagner	601 969 7543		